

OWNER

PONMATTAM FAM REAL ESTATE TR
PONMATTAM, VARGHESE P TRSTEE

ARCHITECT

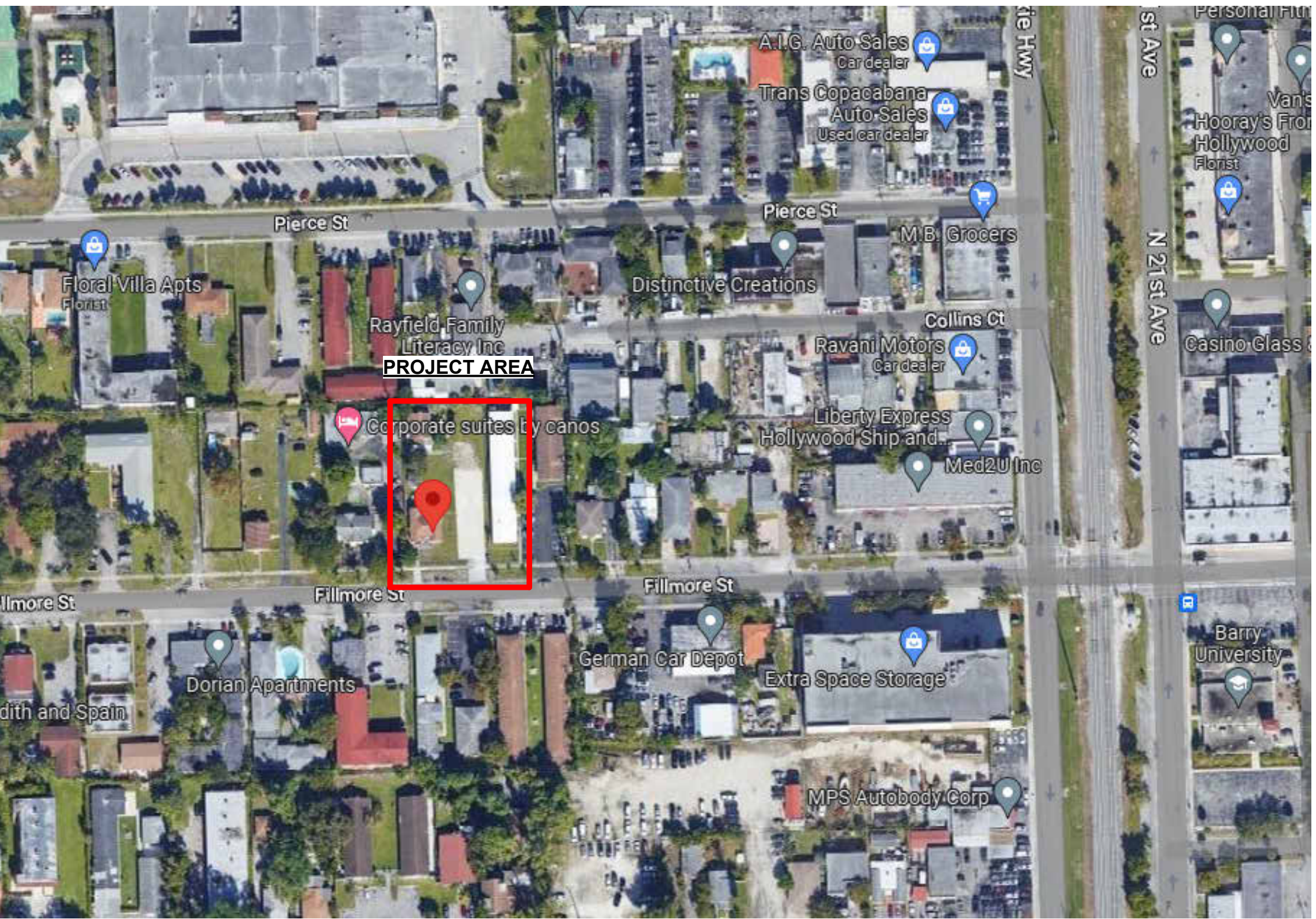
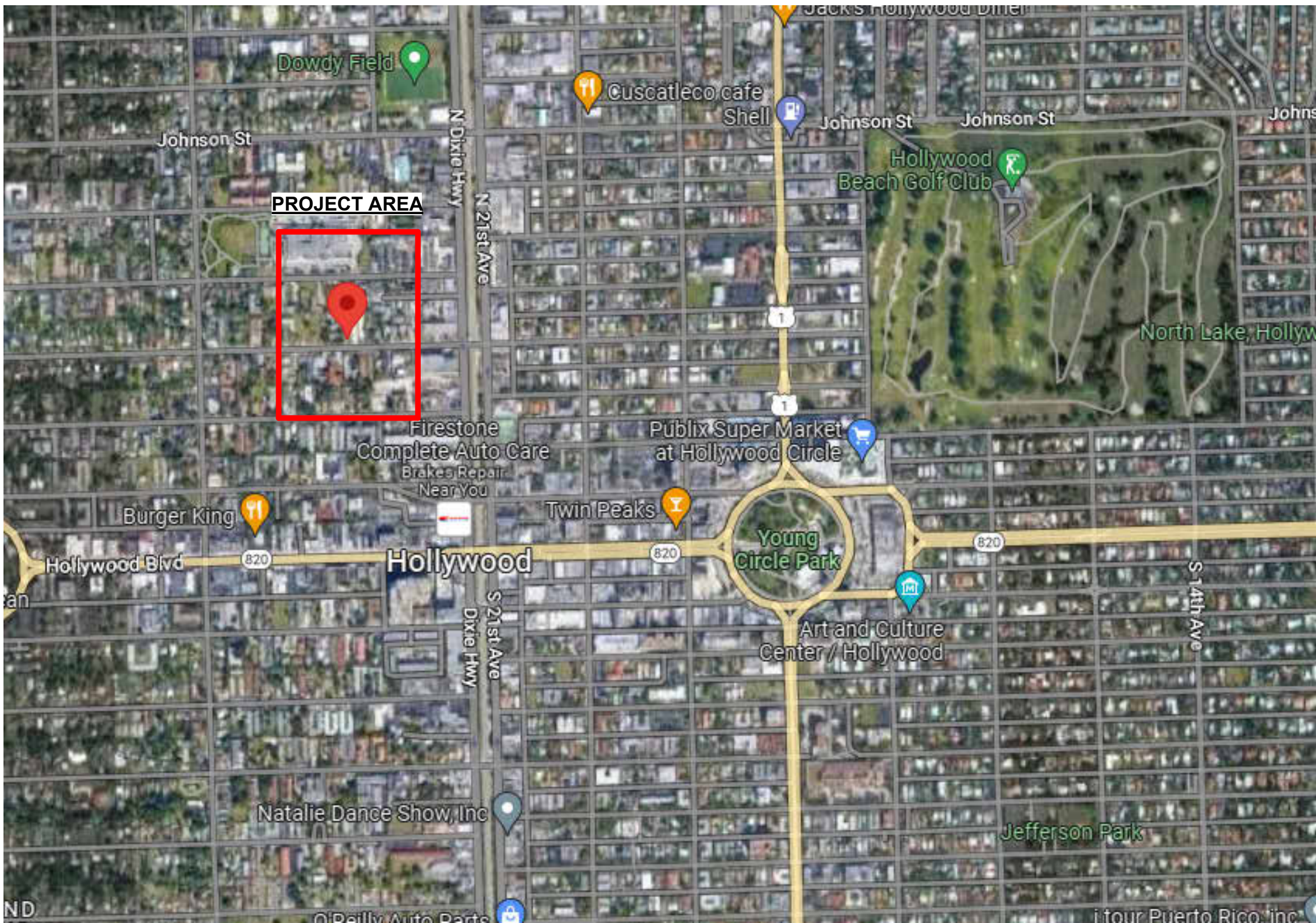
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FILLMORE STREET APARTMENTS

2215 FILLMORE ST. HOLLYWOOD, FL 33020



2215 FILLMORE ST. HOLLYWOOD, FL 33020

Parcel ID: 514216014020
Lot Area - Public Records: 20,502 ft²
Legal Description: HOLLYWOOD LITTLE RANCHES
1-26 B LOT 2 BLK 10

BASIC ZONING

Municipal Future Land Use: Regional Activity Center (RAC)
Zone: DH-2
Existing Building Use: Single Family Residential
Existing Land Use: Residential
County Future Land Use: Regional Activity Center
Allowed Use(s) - Primary: Residential(2), Lodging(1), Office(1),

ADDITIONAL ZONES

FEMA Flood Zone: X
Flood Elevation (Feet NAVD88) 12.0'

BUILDING INTENSITY

	ALLOWED	PROPOSED
Maximum Building Height:	45 ft	45 ft
Maximum Height - Stories:	4	4
Floor Area Ratio:	1.75(35,878 SF)	34,644 ft²
Minimum Open Space:	20%	23%
Estimated Residential Units:	Unlimited	27 UNITS

TECHNICAL ADVISORY COMMITTEE MEETING AGENDA

PRELIMINARY SITE PLAN REVIEW MARCH 6, 2023

KA

Kaller Architecture

2417 Hollywood Blvd.
Hollywood Florida 33020

ALTA/NSPS LAND TITLE SURVEY

DESCRIPTION:

LOT 2, BLOCK 10, "AN AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES,"
ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

SURVEYOR NOTES:

- 1). THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
- 2). THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE DESCRIPTION ATTACHED HEREON.
- 3). THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE.
- 4). THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- 5). BENCHMARK REFERENCE - NATIONAL GEODETIC SURVEY DESIGNATION - M 312, PID - AD2500, ELEVATION = 13.44
- 6). ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- 7.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.
- 8). THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- 9.)NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF FILMORE STREET.
- 10.)ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.
- 11.)WATER SERVICE MAIN LOCATED NEAR REAR PROPERTY LINE UNABLE TO FIELD LOCATE UNKNOWN SIZE. CALL FOR LOCATES BEFORE DIGGING.
- 12.)UNRECORDED EASEMENTS OBSERVED ON THE NORTH PROPERTY LINE: OVERHEAD UTILITIES, WATER METERS AND WEST PROPERTY LINE, OVERHEAD UTILITY.

SUMMARY TABLE OF TITLE EXCEPTIONS

ORT FILE NUMBER 23005784 DATED: January 31,2023

EXCEPTIONS	DESCRIPTION	COMMENTS
1-7)	STANDARD EXCEPTIONS	

- 8.)Plat matters Hollywood Little Ranches, Plat Book 1, Pg. 26. B.C.R.
Shown on Survey Does not affect this property
- 9.) Right-of-Way Map in Plat Book 8, Pg. 14
Affects "Filmore Street"
- 10.)Development Ordinance ORB 8136/244
Street Name Ordinance
Does not affect this property
- 11.) Utility Easements ORB 40244/1465 and 38247/425
Updated Wetlands Map Does not affect this property
- 12.)Ordinance No. 2002-61 ORB 34145/1891
Does not affect this property
- 13.)Rights of Lessees under unrecorded leases
Does not affect this property

TITLE SEARCH REPORT

- FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
- PROVIDED FOR: ATTORNEYS TITLE PARTNERS
- AGENT'S FILE#: 2215 FILMORE STREET TSR
- PREPARED DATE: JANUARY 31, 2023 ORT FILE No. 23005784

SURVEY CERTIFICATION:

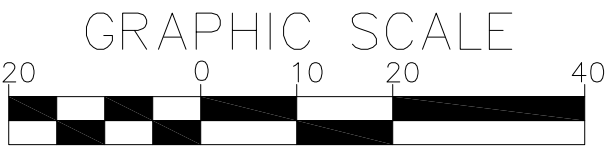
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, EFFECTIVE FEBRUARY 23, 2021 AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11(LIMITED), AND 13 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 06, 2023

LAND AREA/PROPERTY SIZE:
GROSS: 22,500 SQUARE FEET - 0.52 ACRE
(TO RIGHT-OF-WAY CENTERLINE)
NET: 20,500 SQUARE FEET - 0.47 ACRE



LOCATION MAP
NOT TO SCALE



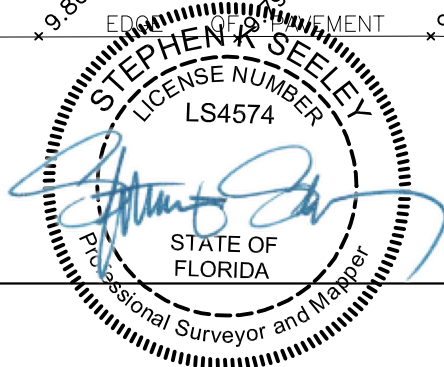
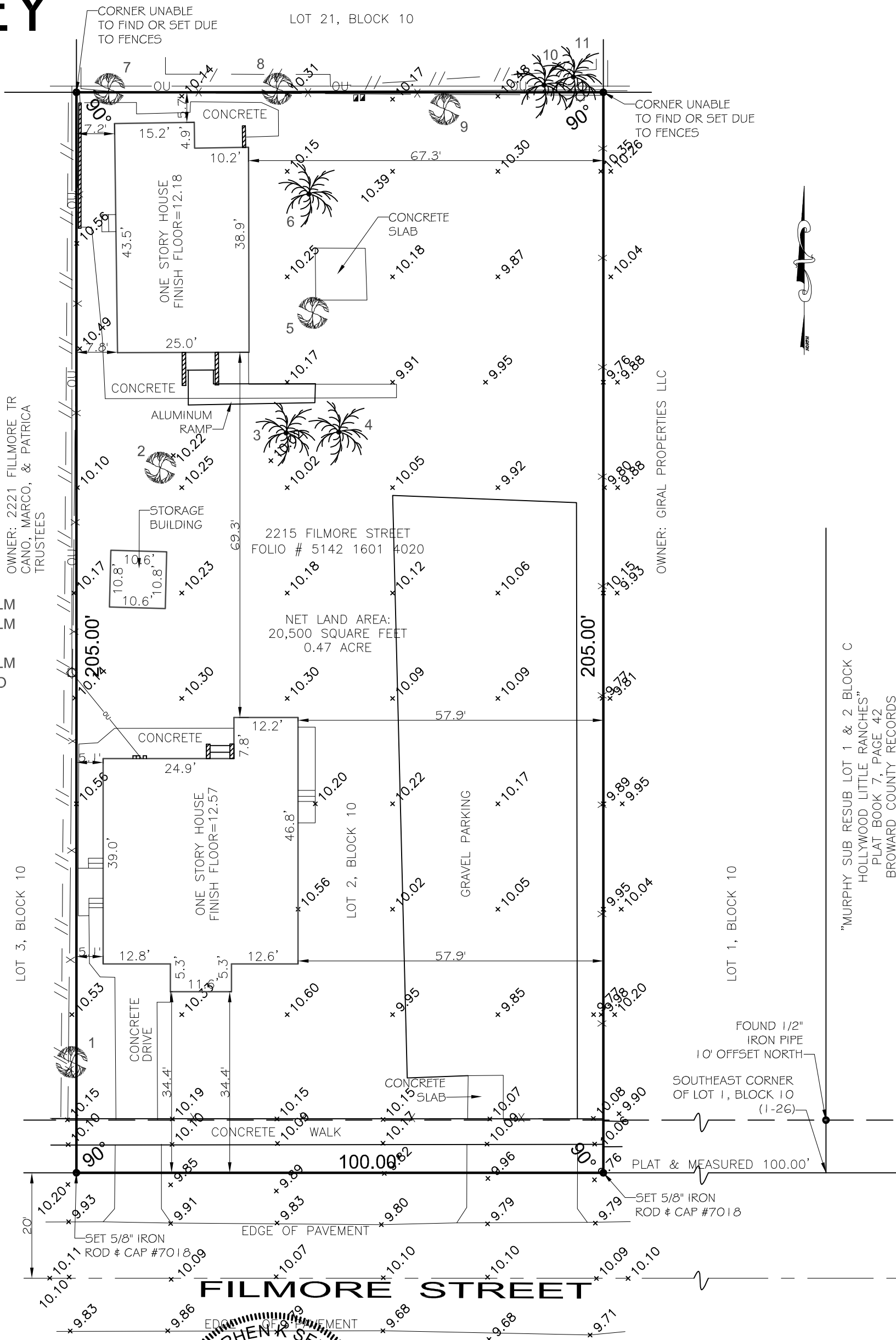
FEMA FLOOD
INSURANCE RATE MAP
HOLLYWOOD
BROWARD COUNTY, FLORIDA
125113
ZONE X
BASE FLOOD ELEVATION=N/A
PANEL No. 12011 C0 569 H
FIRM DATE- 08/18/2014

TREE #	TREE SIZE	TREE TYPE
1.	24"	FICUS
2.	18"	BISCHOFIA
3.	10"	COCONUT PALM
4.	10"	COCONUT PALM
5.	24"	AVOCADO
6.	10"	COCONUT PALM
7.	18"	GUMBO LIMBO
8.	8"	OAK
9.	4"	DEAD
10.	10"	SABLE PALM
11.	10"	SABLE PALM

LEGEND		
— x — x —	CHAIN/LINK FENCE	TRAFFIC SIGN POST
— // — // — // —	WOOD FENCE	CLEANOUT
///	CONCRETE WALL	CONCRETE
— ss —	SANITARY SEWER LINE	
— wl —	WATER LINE	LARGE TREE
— ou —	OVERHEAD UTILITY	PALM
— — —	CENTERLINE	ELEVATION
— - - -	RIGHT-OF-WAY LINE	
■	WATER METER	WH
⊙	WOOD POWER POLE	B.C.R.
CS	CONCRETE SLAB	O.R.B.

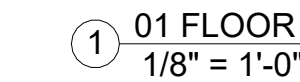
CERTIFIED TO:

PONMATTAM FAMILY REAL ESTATE TRUST
THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OT THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO, FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT/AGREEMENT WITH THE AFOREMENTIONED CLIENT FOR THIS PROJECT, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL. COPYING, DISTRIBUTING OR RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION WILL BE AT THE RE-USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR.
NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.

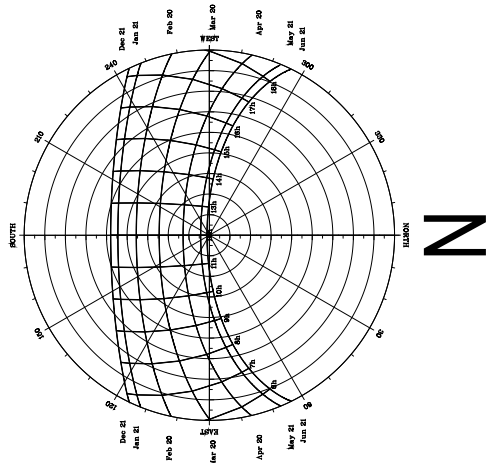


THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY STEPHEN K SEELEY ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISION	DATE	BY	ALTA/NSPS LAND TITLE SURVEY			<div><div><div></div><div>Professional Surveyor and Mapper</div></div><div>STEPHEN K. SEELEY, FOR THE FIRM PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 4574</div></div>	<div><div>GIBBS</div><div>LAND SURVEYORS</div><div>2131 HOLLYWOOD BOULEVARD, SUITE 204 HOLLYWOOD, FL 33020 (954) 923-7666 LICENSED BUSINESS NO. 7018</div></div>
			JOB #:RN9318	DATE: 02/02/2023	DRAWN BY: CM		
			SCALE: 1"=20'	SHEET 1 of 1	CHECKED BY: SKS		
			NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER				



<u>PARKING BREAKDOWN</u>	<u>PROVIDED</u>
REGULAR SPACES:	28 STALLS
TANDEM SPACES:	9 STALLS
VISITOR SPACES:	5 STALLS
TOTAL:	42 SPACES



1 05 ROOF TERRACE
1/8" = 1'-0"

10' SIDE SETBACK

10' SIDE SETBACK

10' R/W DEDICATION

15' FRONT SETBACK

15' FRONT SETBACK

20' REAR SETBACK

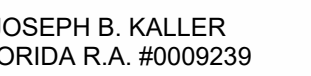
20' REAR SETBACK



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REAL



2215 FILLMORE ST. HOLLYWOOD, FL 33020

**SCHEMATIC
PERCEPTIVE**

REVISIONS

[illegible]

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PROJECT No.: 22-219

DATE: 1/16/23

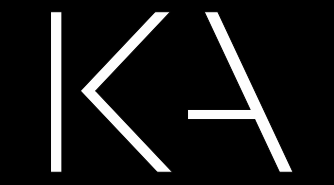
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CHECKED BY: JBK

EET

A-1.5



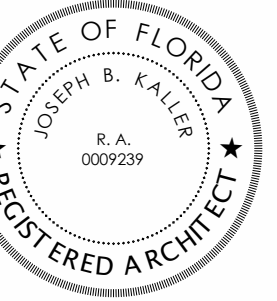


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EAL



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11

100

SCHEMATIC PERSPECTIVES

REVISIONS

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SHEET

A-1.6

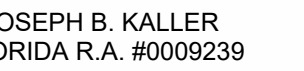


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REAL



2213 HILLMORE ST. HOLLYWOOD, FL 33020

ELEVATIONS

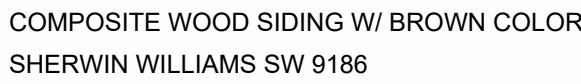
REVISIONS

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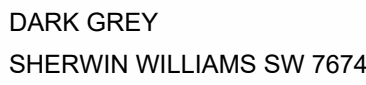
SHEET

A-1.7

C1



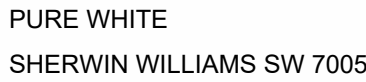
C2



C3

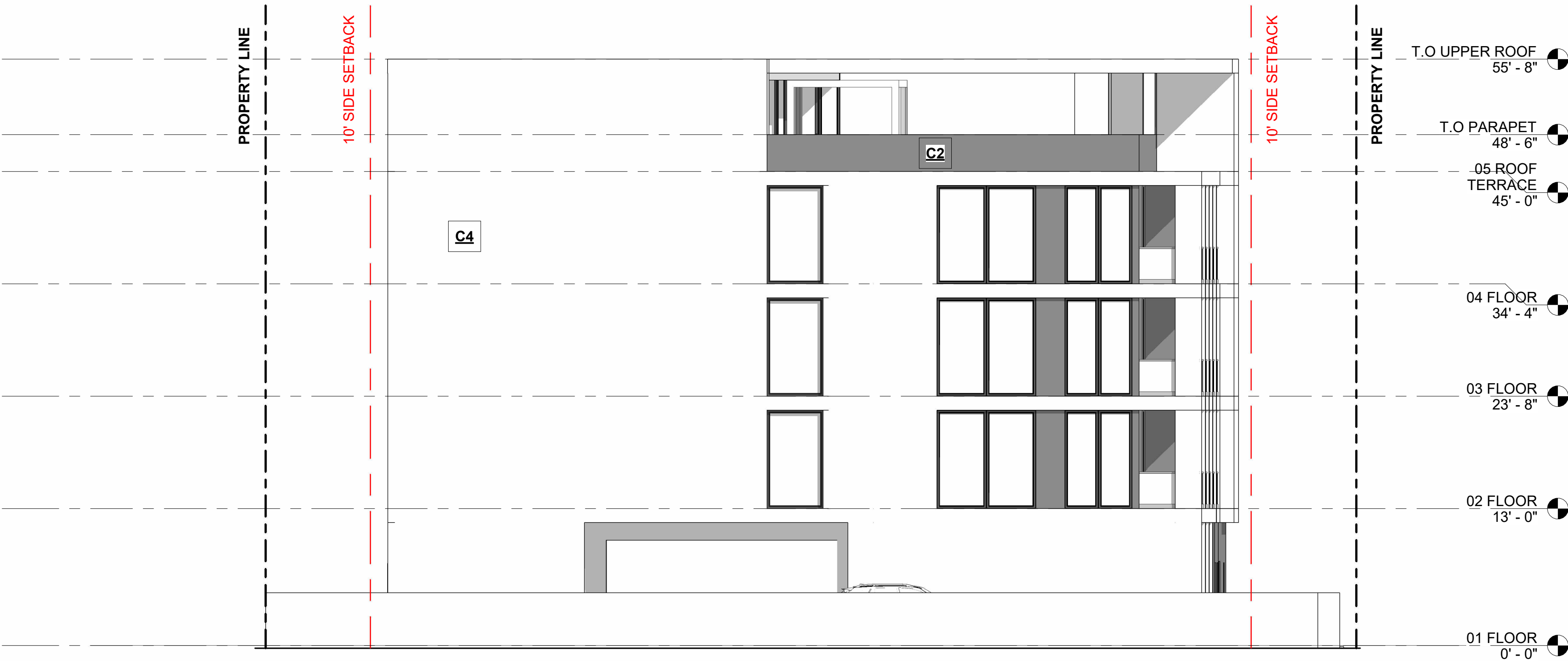


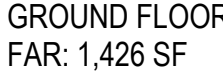
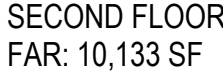
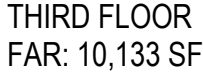
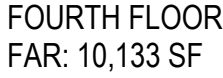
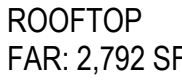
C4



① SOUTH ELEVATION
1/8" = 1'-0"

2 NORTH ELEVATION
1/8" = 1'-0"





① FLOOR AREA RATIO
1/32" = 1'-0"

<u>NET LOT AREA</u>	20,502 SF	
	<u>REQUIRED</u>	<u>PROVIDED</u>
<u>MAX FAR</u>	1.75(35,828 SF)	34,617 SF



② ROOF COVERED AREA
1/32" = 1'-0"

<u>TOTAL GROSS ROOFTOP AREA</u>	12,513 SF	
	<u>REQUIRED</u>	<u>PROVIDED</u>
<u>MAX COVERED ROOF AREA</u>	30%	22%



■ ADDITIONAL LANDSCAPE AREA - 1,759 SF



 TOTAL VEHICULAR USE - 10,747 SF

LANDSCAPE AREA - 3,301 SF

③ VEHICULAR USE AREA
1/32" = 1'-0"

<u>TOTAL LOT AREA</u>	20,502 SF	
<u>VEHICULAR USE (V.U.A)</u>	10,747 SF X 25% = 2,686 SF	
	REQUIRED	PROVIDED
<u>LANDSCAPE AREA</u>	2,686 SF	5,060 SF

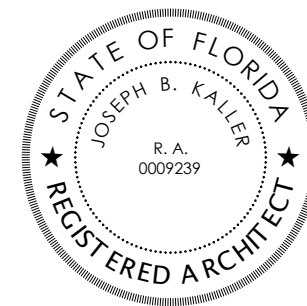
NOTE: CALCULATION EXCLUDES LANDSCAPE BUFFERS

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SEAL



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2215 FILLMORE ST. HOLLYWOOD, FL 33020

DIAGRAMS

REVISIONS

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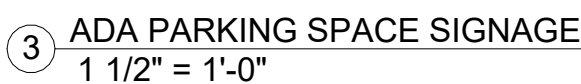
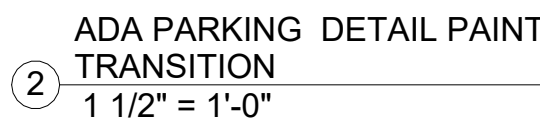
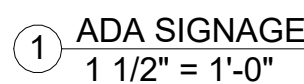
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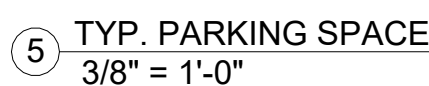
CHECKED BY: JBI

SHEET

A-1.9



VERTICAL+ WALL MOUNT RACK DIMENSIONS				
BIKE SPACING	BIKE CAPACITY	L	W	H
13	2	34.8	30.7	84
13	3	47.8	30.7	84
13	4	60.8	30.7	84
13	5	73.8	30.7	84
13	6	86.8	30.7	84
13	7	99.8	30.7	84
13	8	112.8	30.7	84
13	9	125.8	30.7	84
16	2	40.8	30.7	84
16	3	55.8	30.7	84
16	4	72.8	30.7	84
16	5	88.8	30.7	84
16	6	104.8	30.7	84
16	7	120.8	30.7	84
17	2	42.8	30.7	84
17	3	59.8	30.7	84
17	4	76.8	30.7	84
17	5	93.8	30.7	84
17	6	110.8	30.7	84
17	7	127.8	30.7	84
18	2	44.8	30.7	84
18	3	62.8	30.7	84
18	4	80.8	30.7	84
18	5	98.8	30.7	84
18	6	116.8	30.7	84
18	7	134.8	30.7	84

[illegible]

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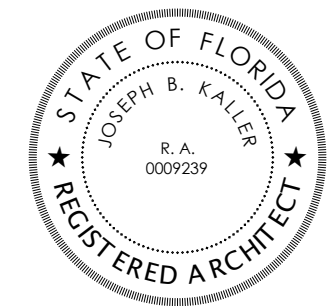
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SEAL



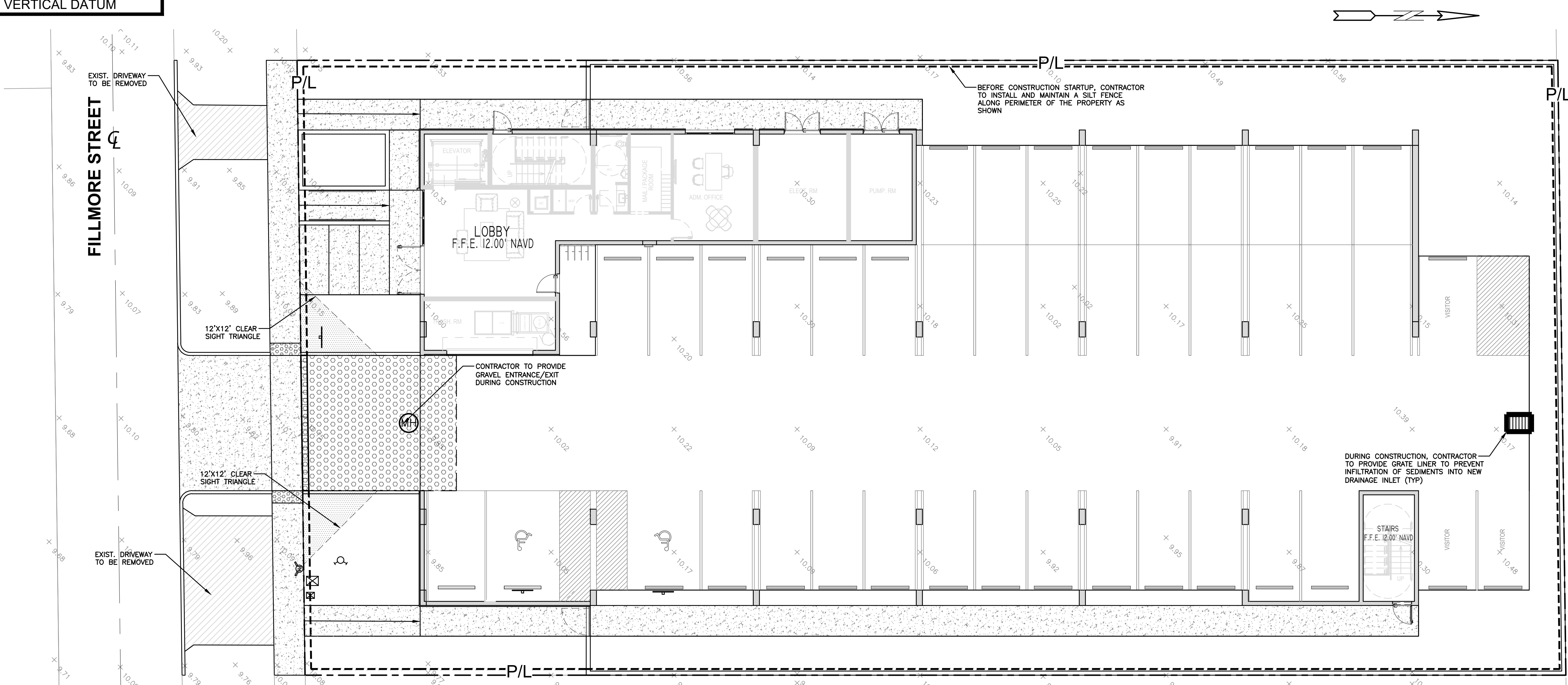
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FLORIDA R.A. #0009239

PROJECT TITLE
2215 FILLMORE ST. HOLLYWOOD, FL 33020

DETAILS

REVISIONS

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



LEGEND	
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED GRADE
	EXISTING ELEVATION
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED WATER METER
	EXISTING WATER METER
	EXISTING WATER VALVE
	PROPOSED BFP DEVICE
	EXISTING SAN. SEWER MH
	EXISTING FIRE HYDRANT

REVISIONS	
NO.	DESCRIPTION

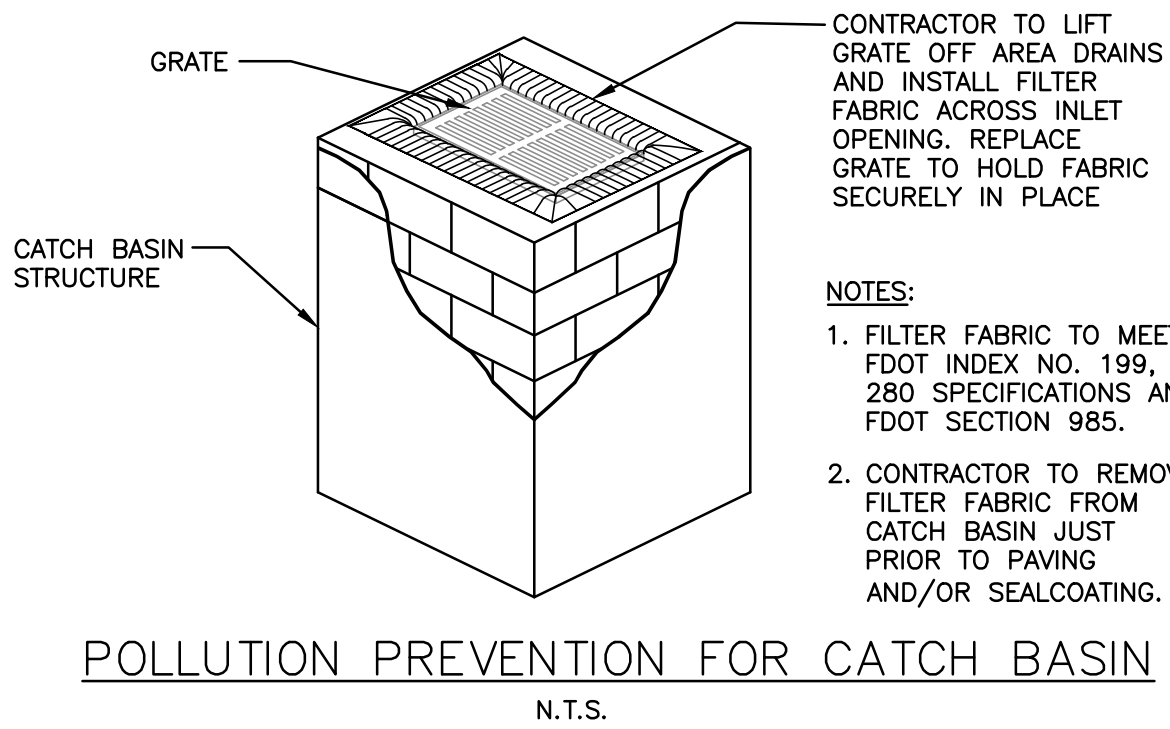
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WILFORD ZEPHYR, P.E.
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wzephyr@gmail.com
CA# 31158

ZE

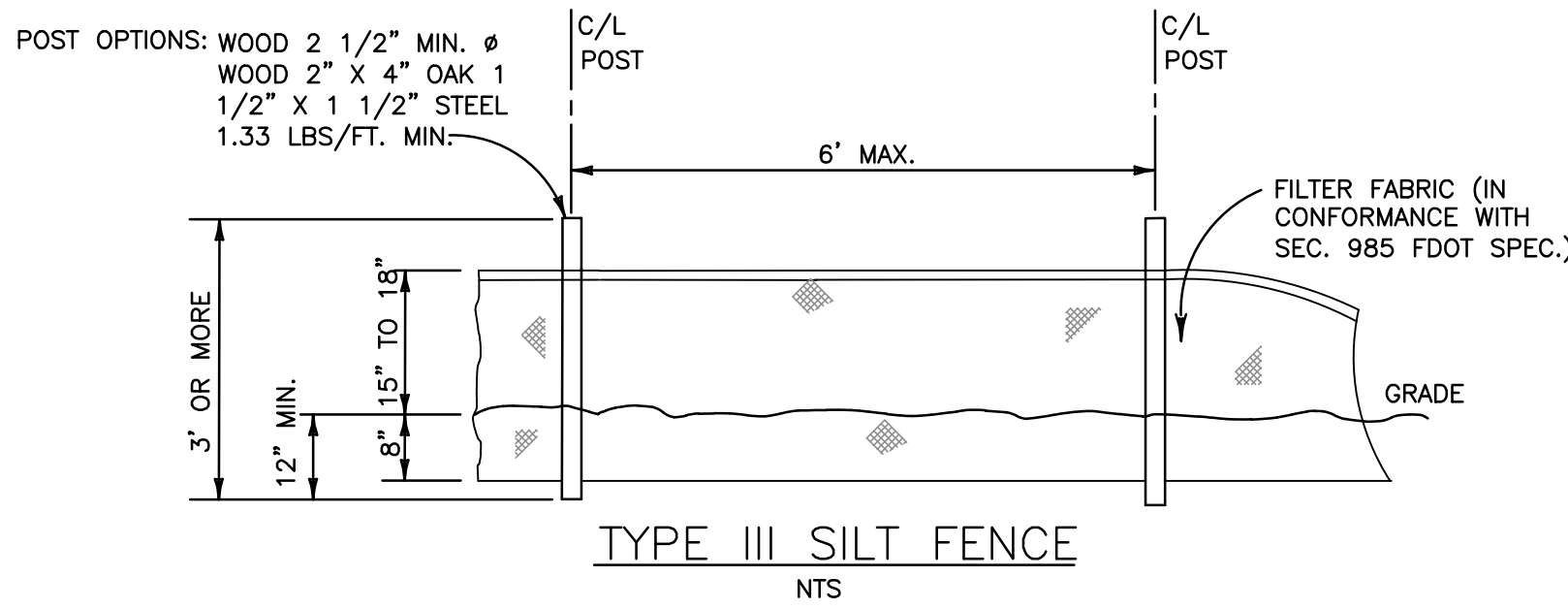
FILLMORE STREET APARTMENTS
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HOLLYWOOD, FL 33020

BMP NOTES:

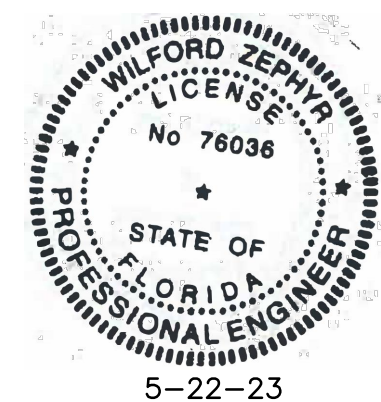
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



POLLUTION PREVENTION FOR CATCH BASIN
N.T.S.



TYPE III SILT FENCE
N.T.S.



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EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

P.E.#:76036

DATE: 5/9/23

SCALE: 1"=10'

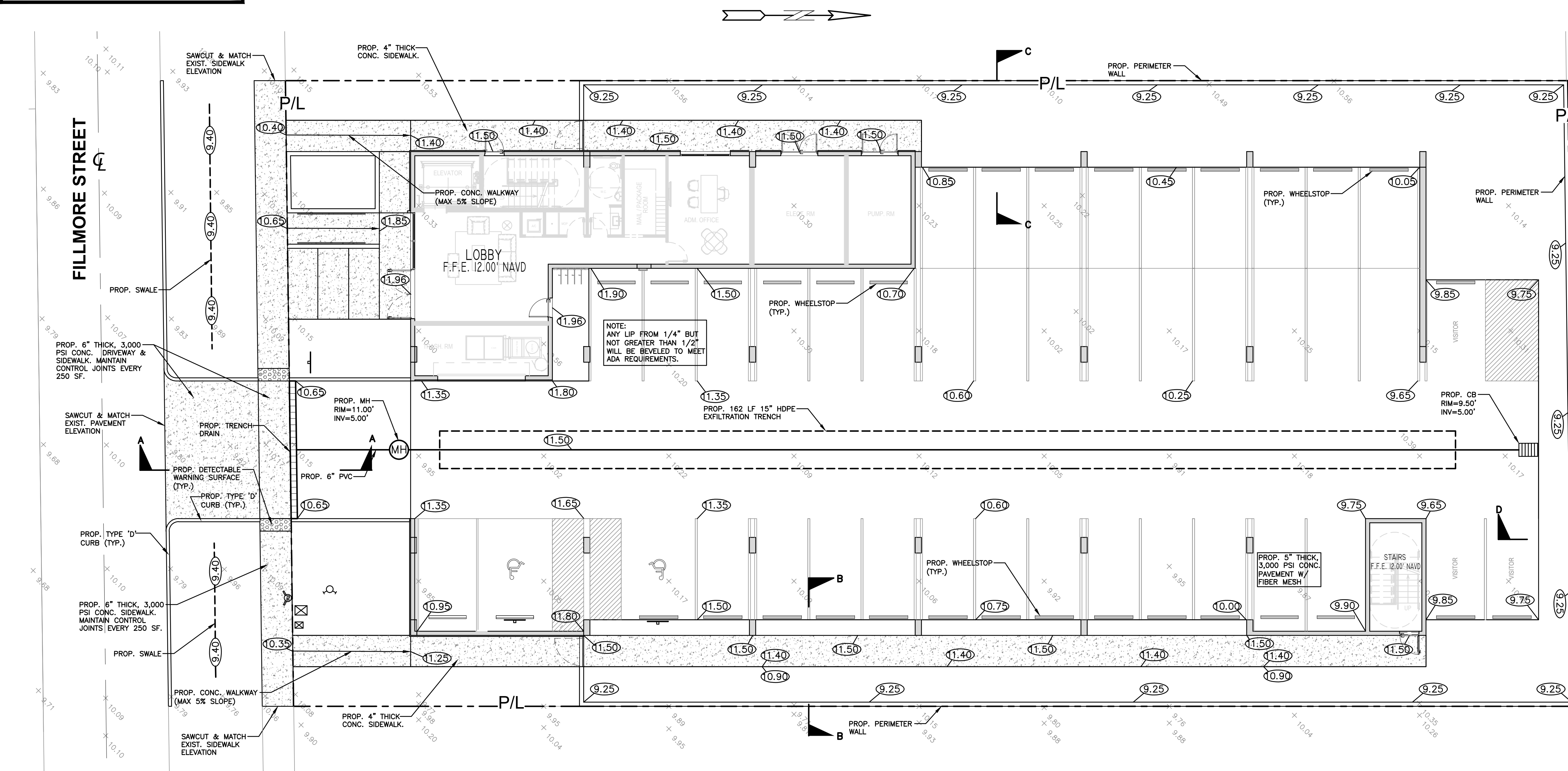
SHEET NO.:

C1

1 OF 10

PROJECT NO.: 23-15

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM

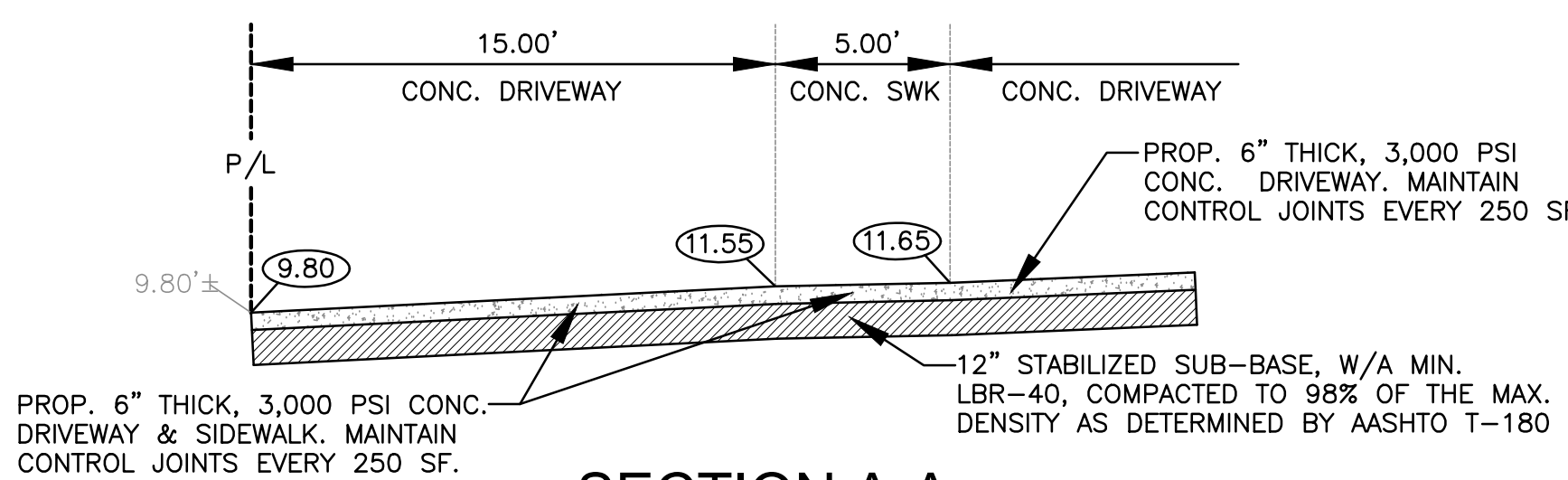


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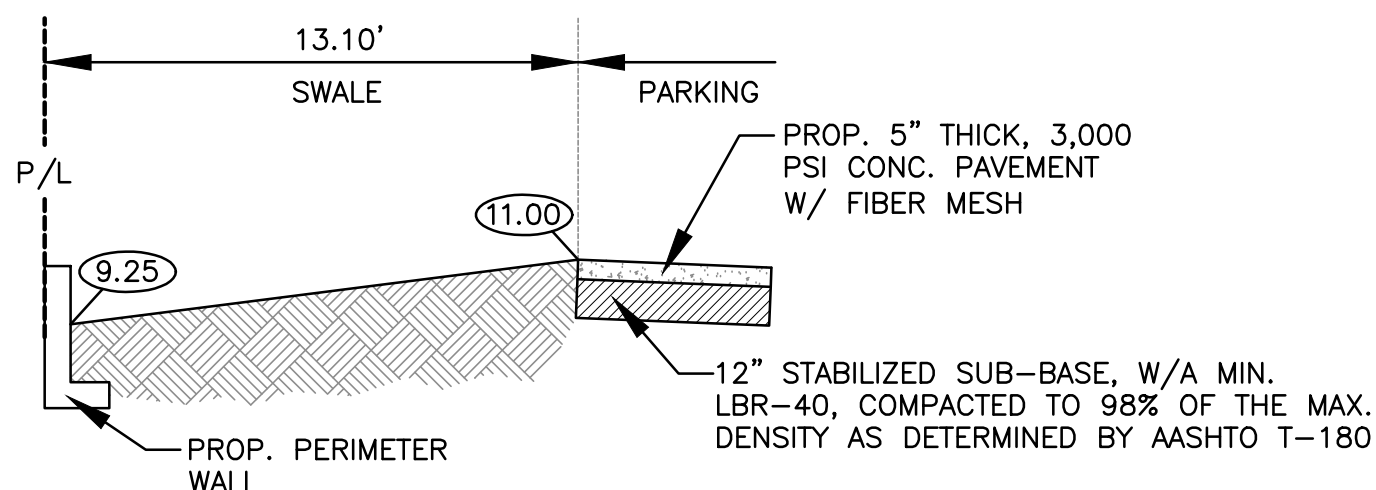
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
- 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
- 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
- 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
- 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
- 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

LEGEND

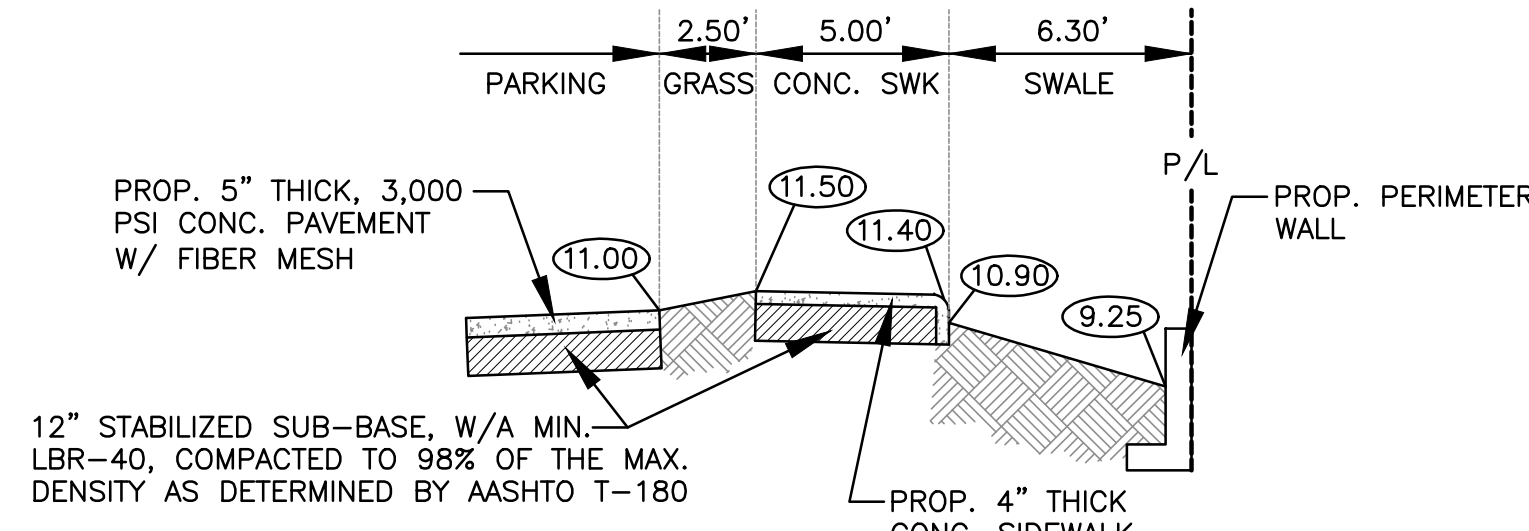
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



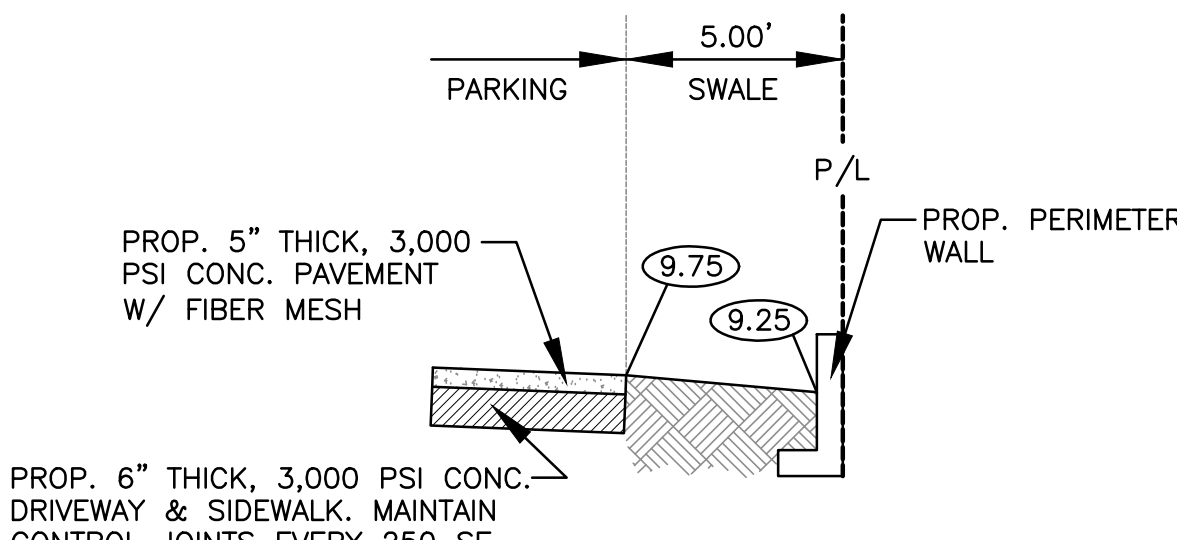
SECTION A-A
N.T.S.



SECTION C-C
N.T.S.



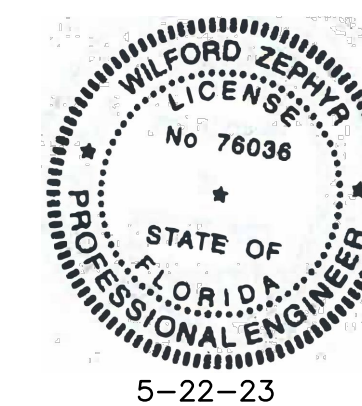
SECTION B-B
N.T.S.



SECTION D-D
N.T.S.

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PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=10'

REVISIONS	
NO.	DESCRIPTION

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2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 5/9/23

SCALE: 1"=10'

SHEET NO.:

C2

2 OF 10

PROJECT NO.: 23-15

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION
BELLSOUTH
COMCAST
TECO
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -

RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
POMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.

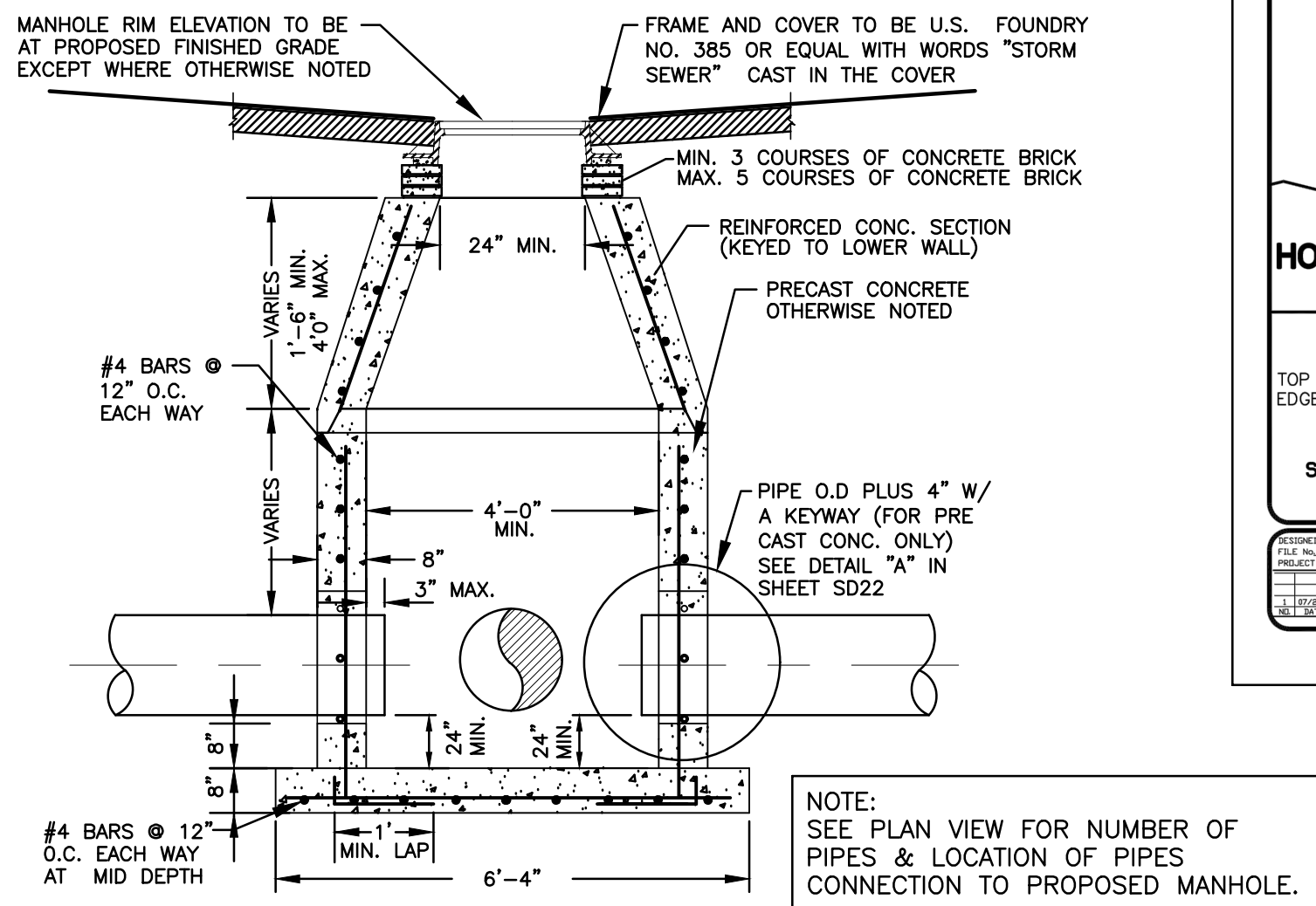
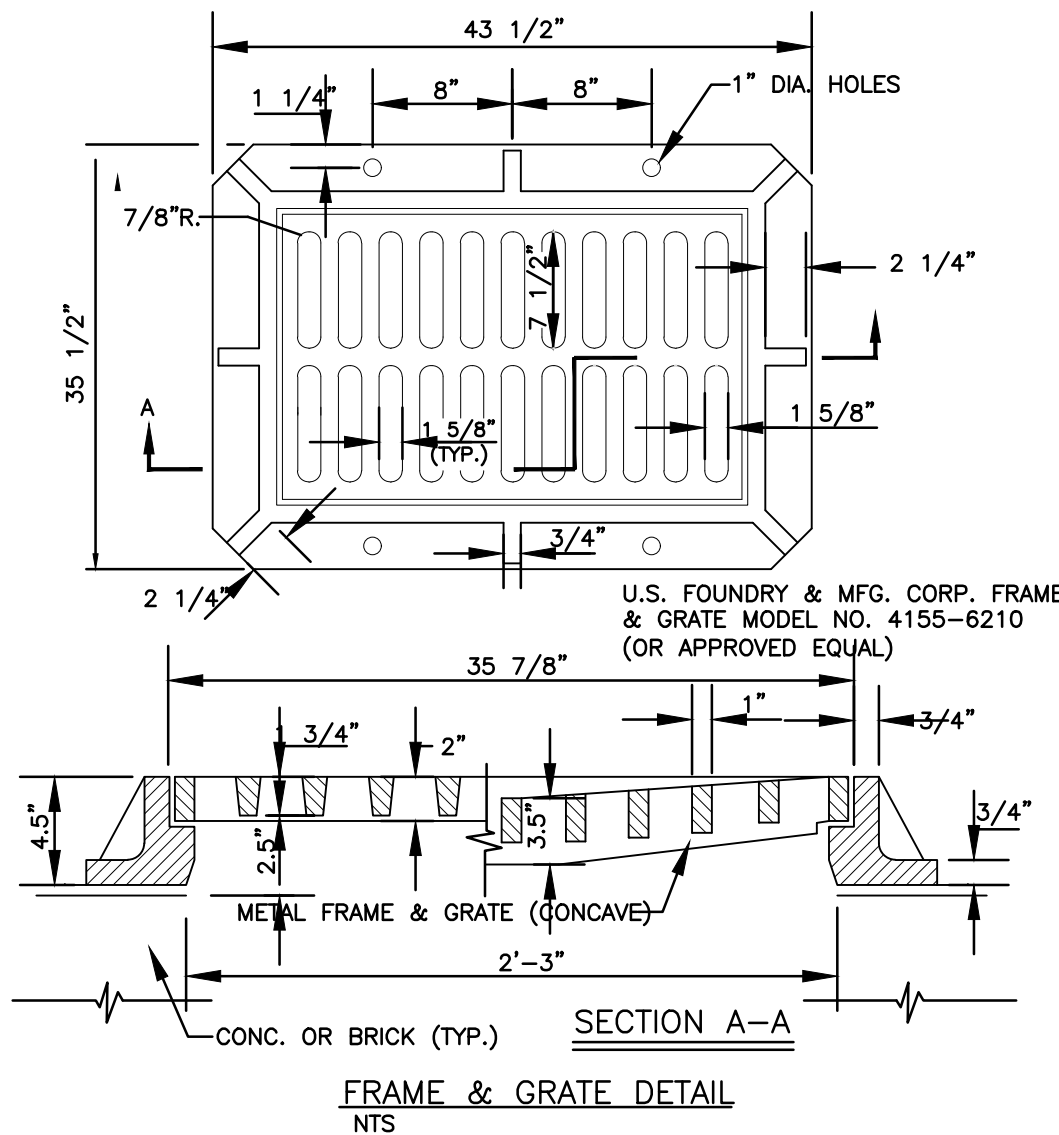
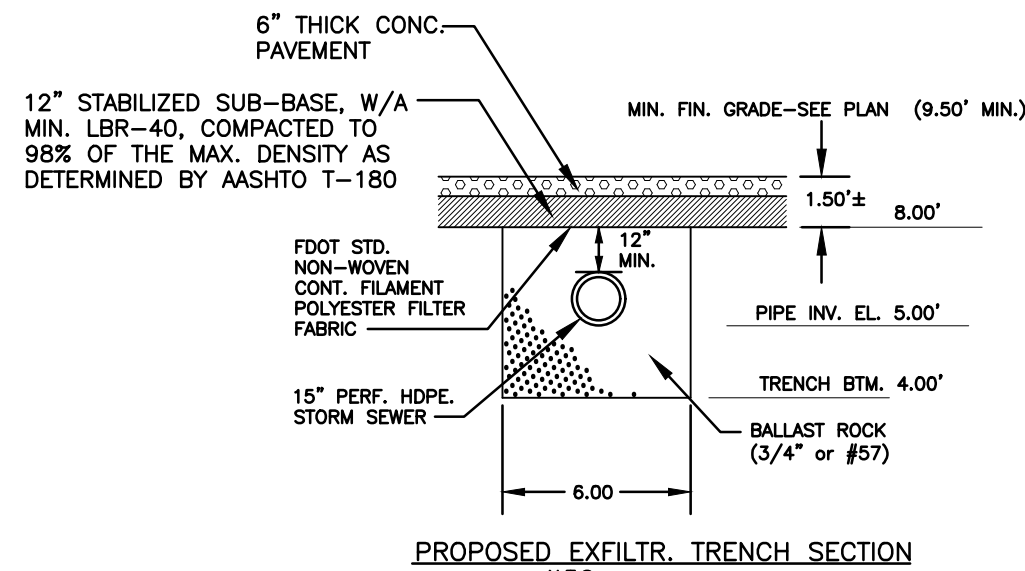
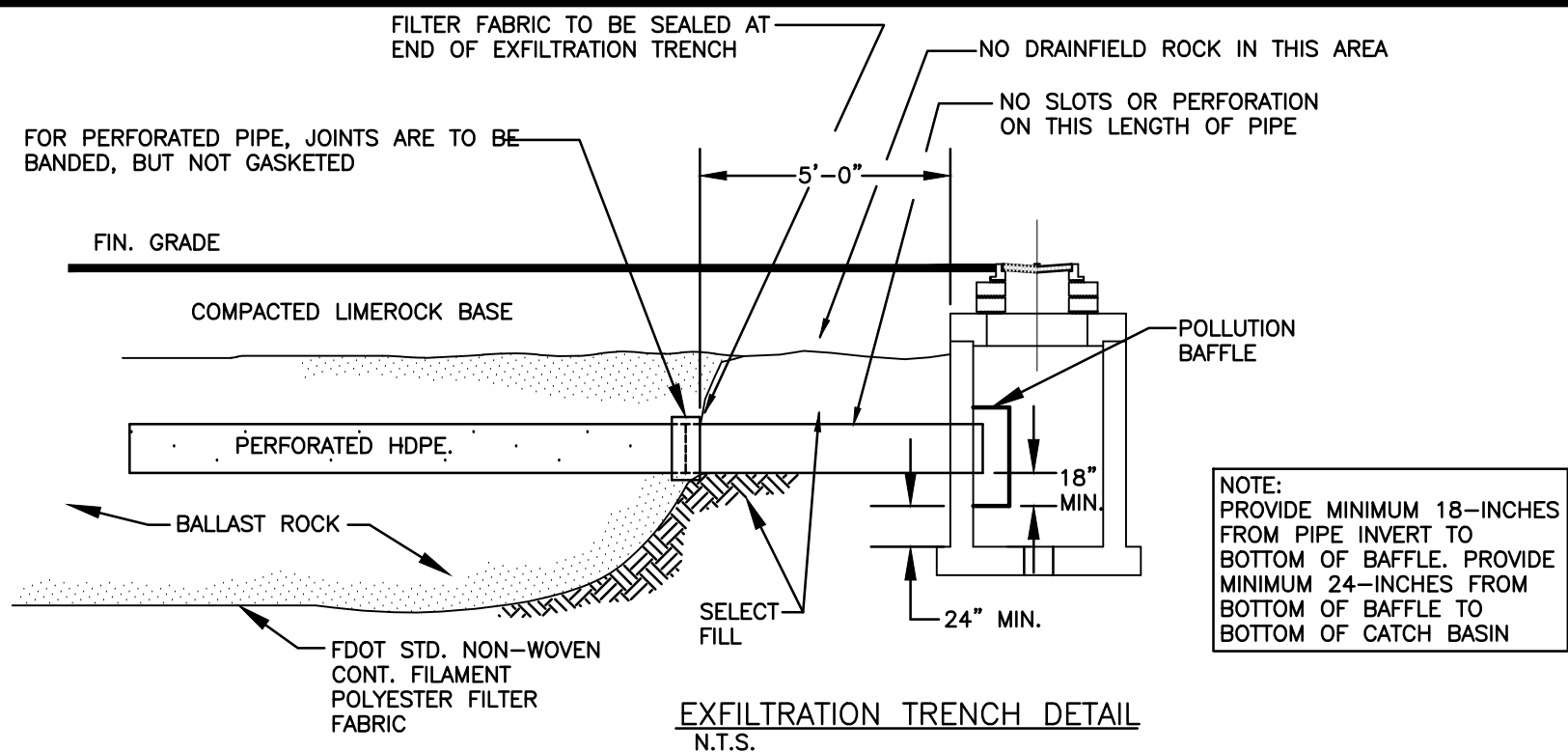
15. ASPHALT -
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.

PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

PAVEMENT MARKING & SIGNING STANDARD NOTES :

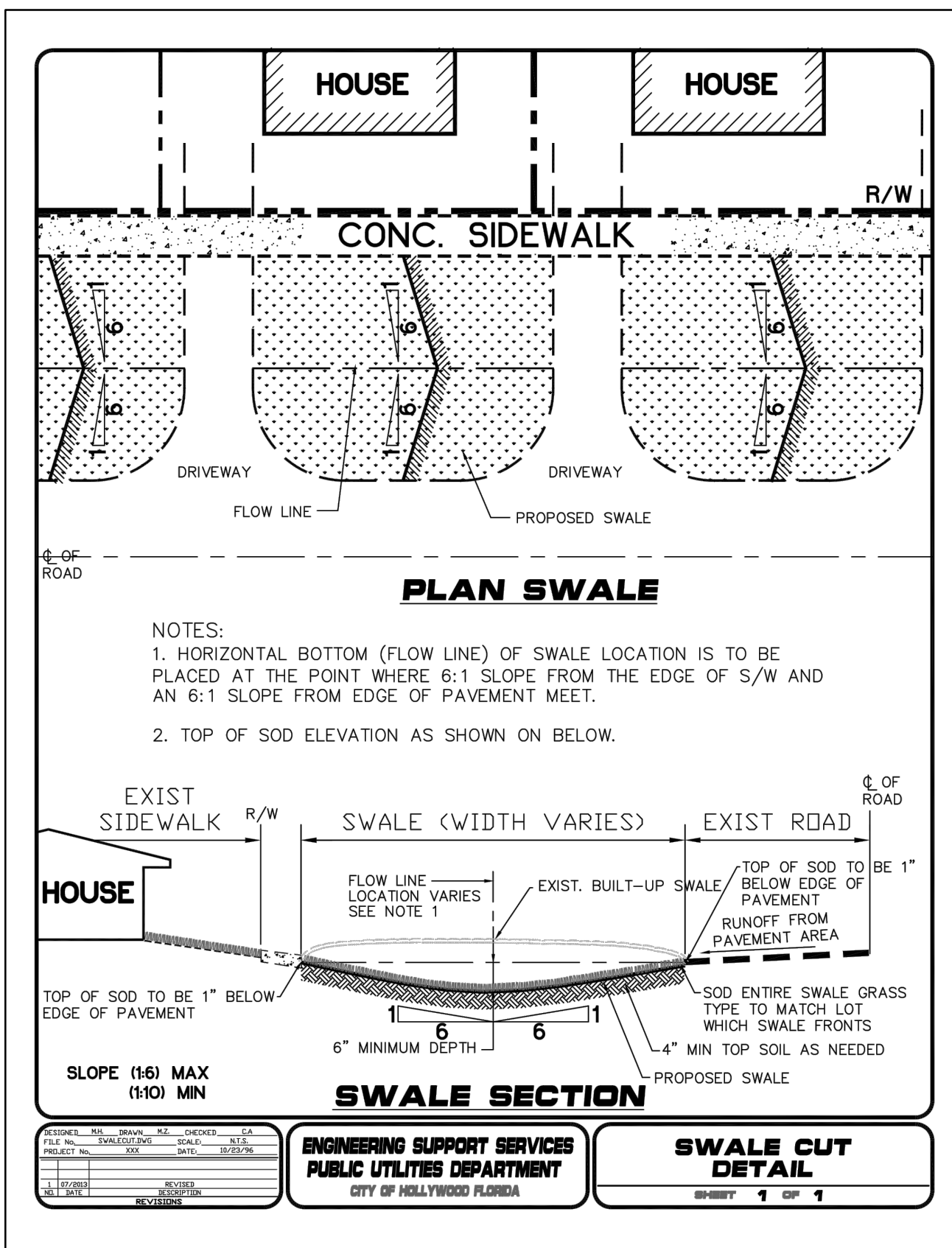
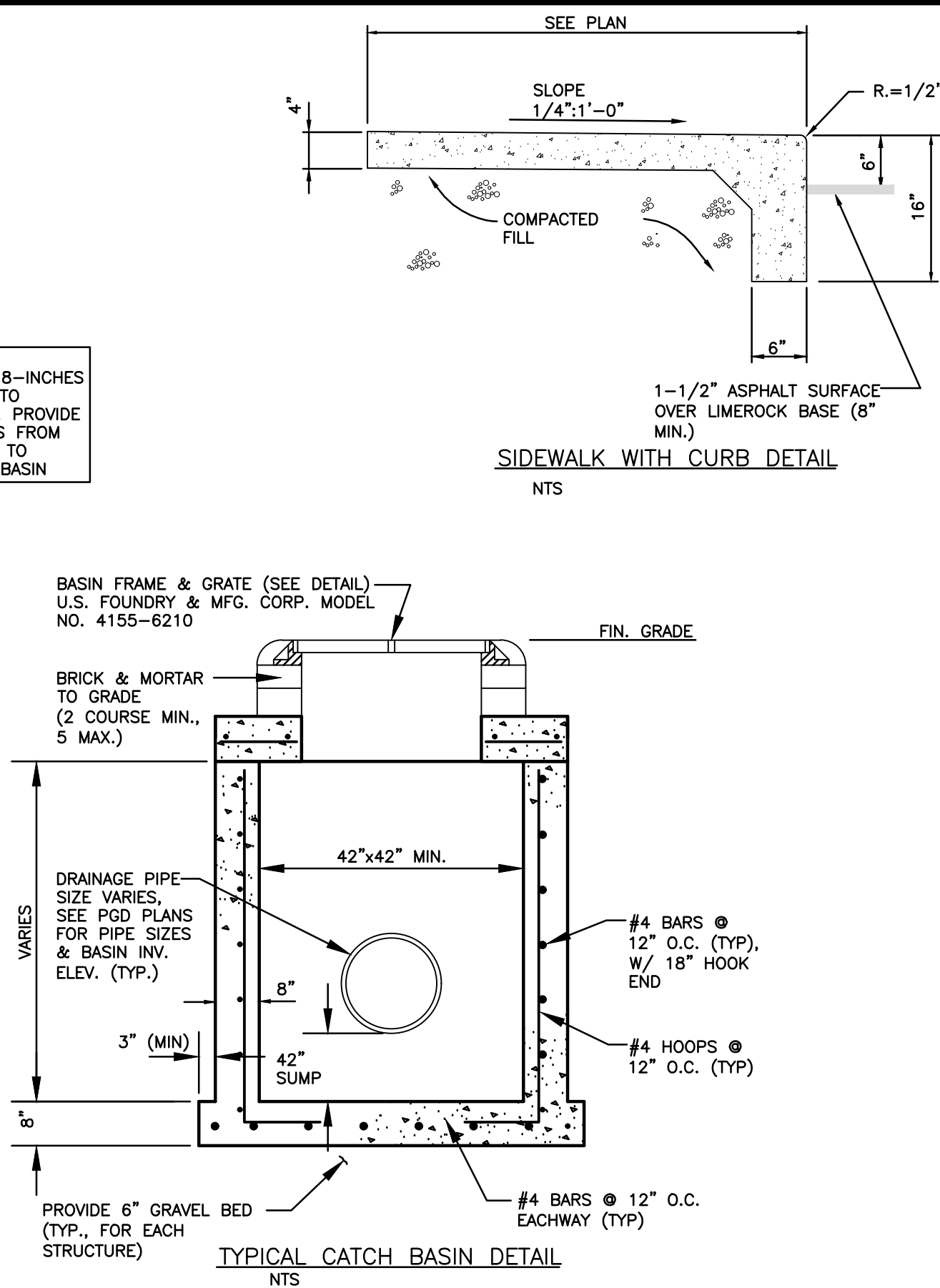
1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



GENERAL DETAILS:

1. PROVIDE SHOP DRAWINGS OF STRUCTURES.
2. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478, SHALL BE TYPE II ACID RESISTANT CEMENT AND SHALL MAINTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS.
3. REFER TO FDOT INDEX 200 FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
4. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60, ALL COVER SHALL BE 3 INCHES MINIMUM.
5. ALL OPENINGS SHALL BE SEALED WITH ELASTOMETRIC GROUT (TYPE 3 CEMENT) SEE DETAIL "A", IN SHEET SD22.

CONCENTRIC PRECAST DRAINAGE MANHOLE (4'-0" MIN. DIA.) DETAIL N.T.S.



SWALE CUT DETAIL

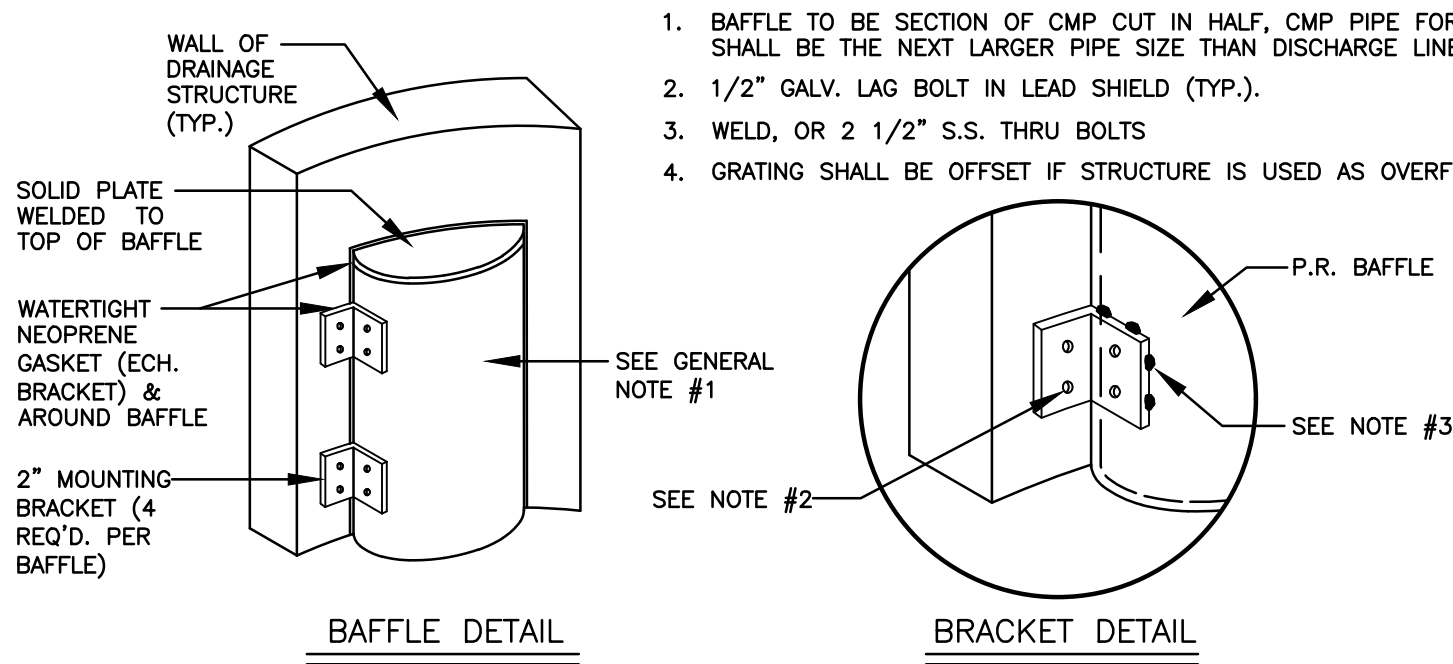
CIVIL DETAILS I

SCALE: N.T.S.

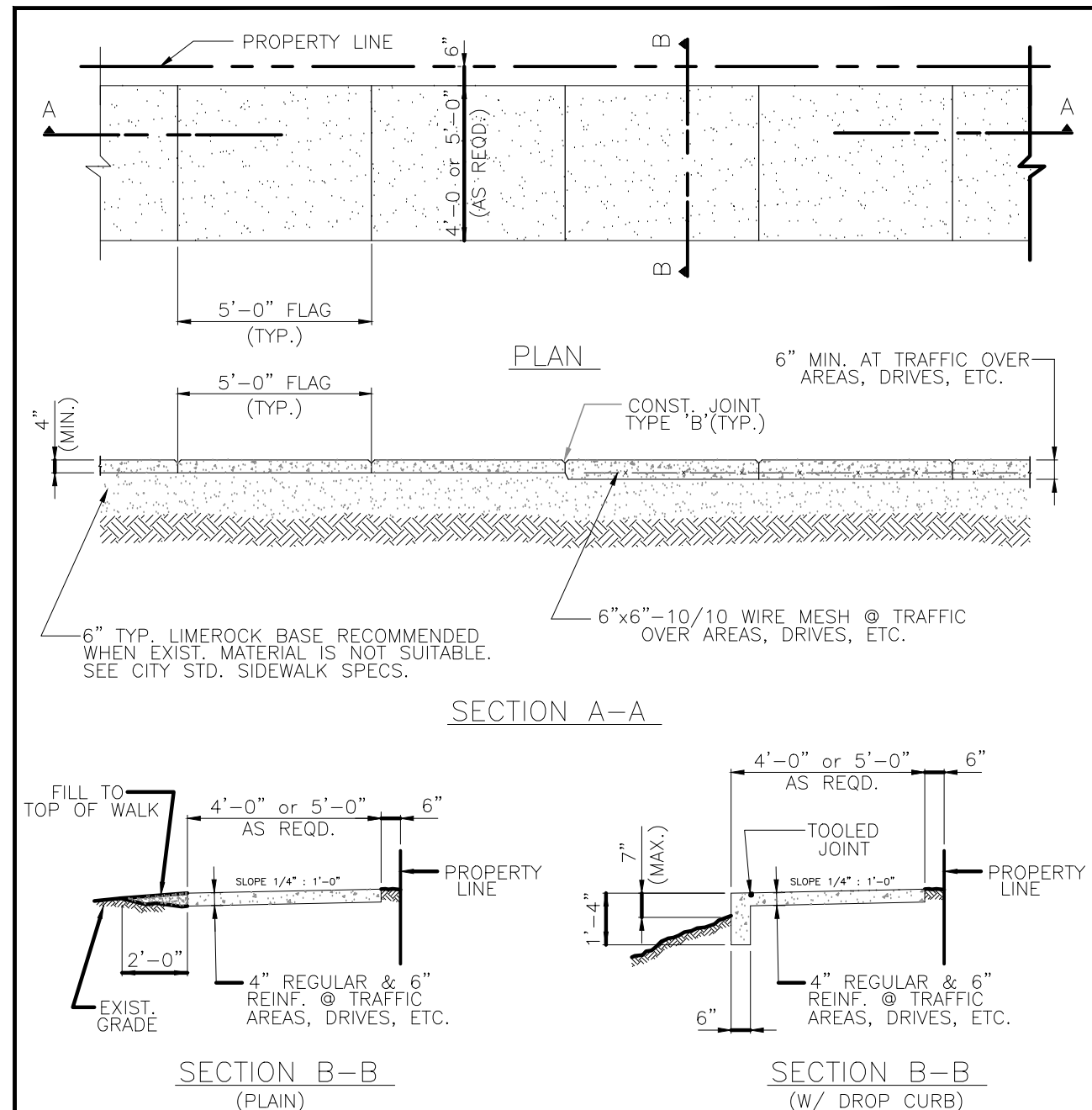
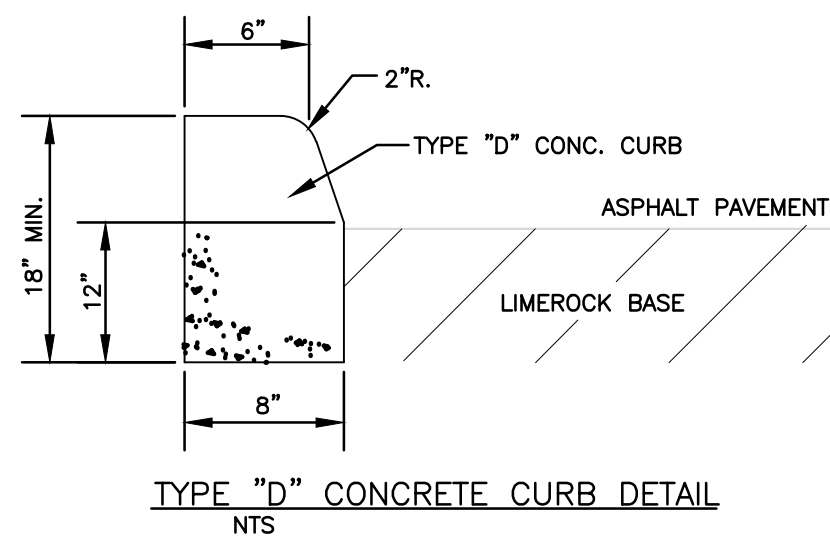
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

GENERAL NOTES :

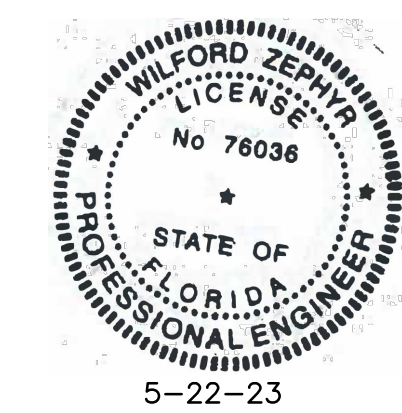
1. BAFFLE TO BE SECTION OF CMP CUT IN HALF. CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



POLLUTION RETARDANT BAFFLE DETAIL N.T.S.



SIDEWALK CONSTRUCTION DETAIL



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NO.	DESCRIPTION

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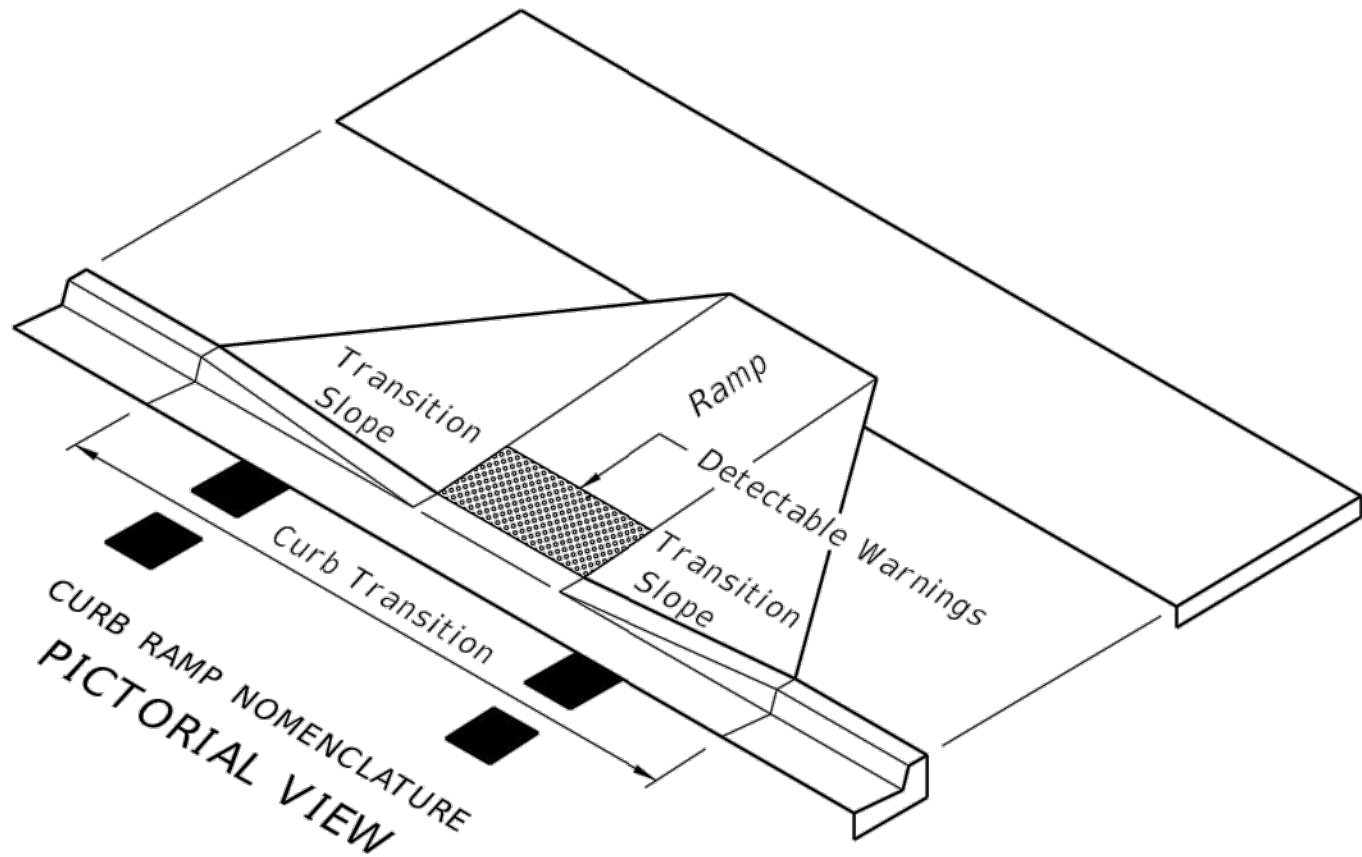
WILFORD ZEPHYR, P.E.
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wzephyr@gmail.com
CA# 31158

ZE

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036
DATE: 5/9/23
SCALE: N.T.S.
SHEET NO.: C3
3 OF 10
PROJECT NO.: 23-15

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LEGEND

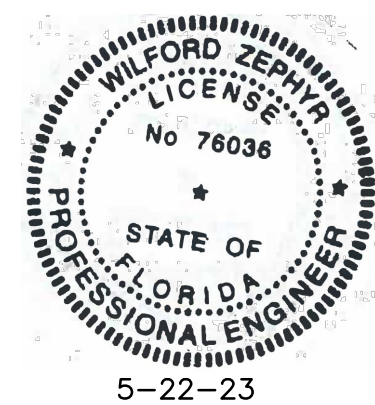
 Detectable Warnings

GENERAL NOTES

1. Sidewalk curb ramps shall be constructed at locations that will provide continuous unobstructed pedestrian circulation path to pedestrian areas, elements and facilities within the right of way and to accessible pedestrian routes on adjacent sites. Curbed facilities with sidewalks and those without sidewalks are to have curb ramps constructed for all intersections and turnouts with curbed returns. To accommodate curb ramps, partial curb returns are to extend to the limits prescribed in Index No. 515. Ramps constructed at locations without sidewalks are to have a landing constructed at the top of each ramp, see LANDINGS FOR CURB RAMP WITHOUT SIDEWALKS.
2. When altering existing pedestrian facilities, where existing restricted conditions preclude the accommodation of a ramp slope of 1:12, a ramp slope between 1:12 and 1:10 is permitted for a rise of 6" maximum. Where compliance with the requirements for cross slope cannot be fully met, the minimum feasible cross slope shall be provided. Ramp slopes are not required to exceed 15' in length.
3. If sidewalk curb ramps are located where pedestrians must walk across the ramp, then provide transition slopes to the ramp; otherwise a sidewalk curb may be required.
4. All sidewalks, ramps, and landings with a cross slope of 0.02 shown in this Index are 0.02 maximum. All ramp slopes shown in this Index as 1:12 are 1:12 maximum. Landings shall have slopes less than or equal to 0.02 in any direction.
5. Grade breaks at the top and bottom of ramps shall be parallel to each other and perpendicular to the direction of the ramp slope.
6. Where a sidewalk curb ramp is constructed within existing curb, curb and gutter and/or sidewalk, the existing curb or curb and gutter shall be removed to the nearest joint beyond the curb transition or to the extent that no remaining section of curb or curb and gutter is less than 5' long. Existing sidewalks shall be removed to the nearest joint beyond the transition slope or to the extent that no remaining section of sidewalk is less than 5' long. For CONCRETE SIDEWALK details refer to Index 310.
7. Sidewalk curb ramp alpha-identifications are for reference purposes (plans, permits, etc.). Alpha-identifications CR-I and CR-J were intentionally omitted.
8. Detectable warnings shall extend the full width of the ramp and to a depth of 2'. Detectable warnings shall be constructed in accordance with Specification Section 527. For the layout of detectable warnings, refer to the TYPICAL PLACEMENT OF DETECTABLE WARNINGS details. Detectable warnings shall not be provided on transition slopes.
9. When detectable warnings are placed on a slope greater than 5%, domes shall be aligned with the centerline of the ramp; otherwise domes are not required to be aligned.
10. Detectable warnings shall be required on sidewalks at:
 - a. Intersecting roads,
 - b. Median Crossings greater than or equal to 6' in width,
 - c. Railroad Crossings,
 - d. Signalized driveways.
11. Detectable Warnings - Acceptance Criteria:
 - a. Color and texture shall be complete and uniform.
 - b. 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.
 - c. There shall be no more than 4 non-compliant domes in any one square foot.
 - d. Non-compliant domes shall not be adjacent to other non-compliant domes.
 - e. Surfaces shall not deviate more than 0.10" from a true plane.
12. Detectable warnings shall be installed no greater than 5' from the back of curb or edge of pavement.
13. Detectable warnings shall not be installed over grade breaks.

LAST REVISION 07/01/13	REVISION	DESCRIPTION:	 FDOT 2014 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPs	INDEX NO. 304	SHEET NO. 1 of 7
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CIVIL DETAILS II
SCALE: N.T.S.



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2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 5/22/23

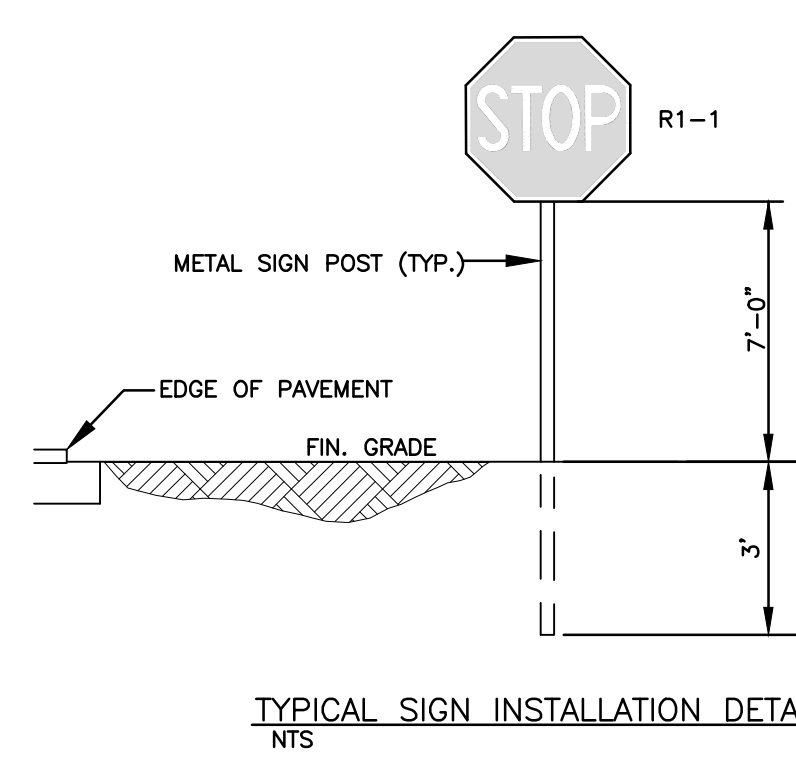
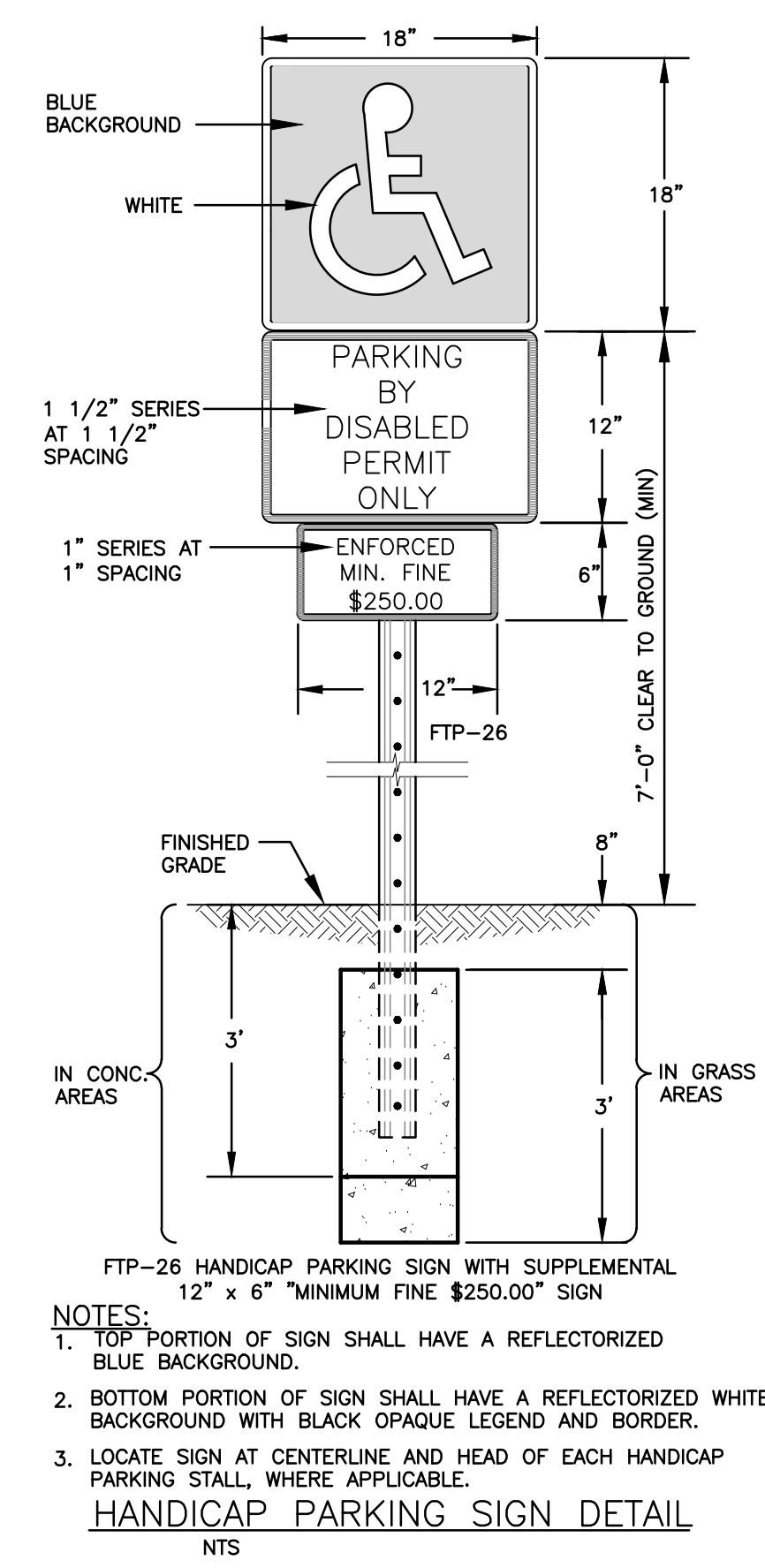
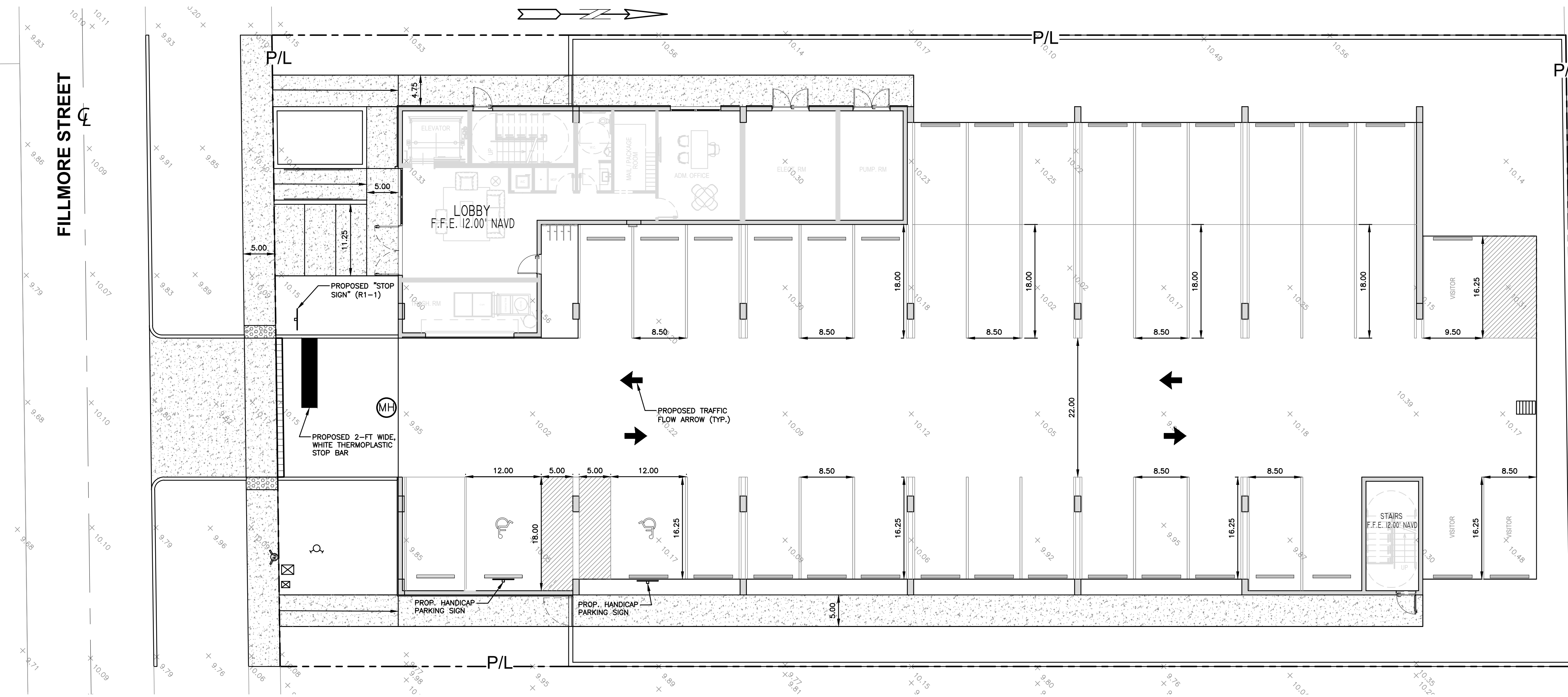
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SHEET NO.:

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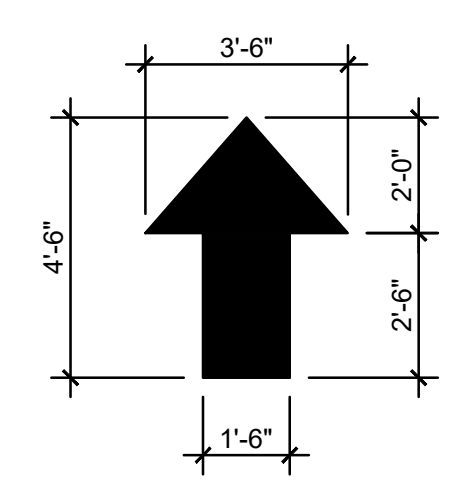
4 OF 10

PROJECT NO.: 23-15



TRAFFIC CONTROL ARROWS: DIRECTIONAL ARROWS PAINTED ON CONCRETE - SEE LOCATIONS THIS SHEET.

PAINT FOR ARROWS: PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE "YELLOW" COLORED PAINT ON CONCRETE.



TRAFFIC CONTROL ARROWS DETAILS
N.T.S.

- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED CATCH BASIN
 - EXISTING CATCH BASIN
 - PROPOSED WATER METER
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - PROPOSED BFP DEVICE
 - EXISTING SAN. SEWER MH
 - EXISTING FIRE HYDRANT



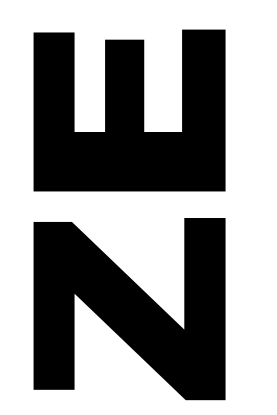
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PAVEMENT MARKINGS & SIGNAGE PLAN
SCALE: 1"=10'

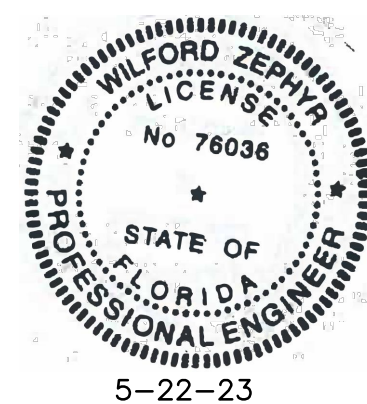
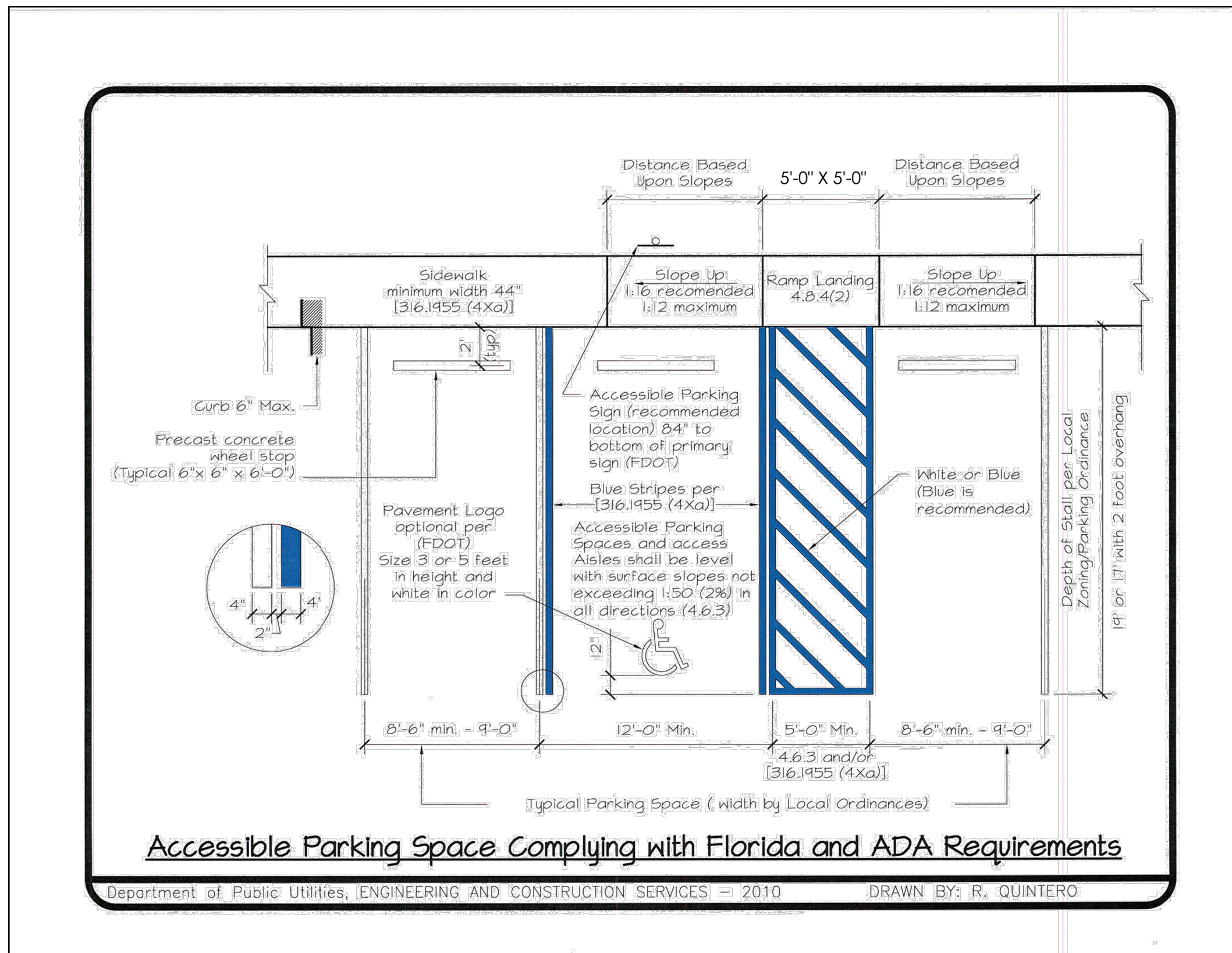
REVISIONS		
NO.	DATE	DESCRIPTION
1	2-13-23	CITY REVIEW COMMENTS

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FILLMORE STREET APARTMENTS
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P.E.#: 76036	
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SHEET NO.: C5	
5 OF 10	
PROJECT NO.: 23-15	



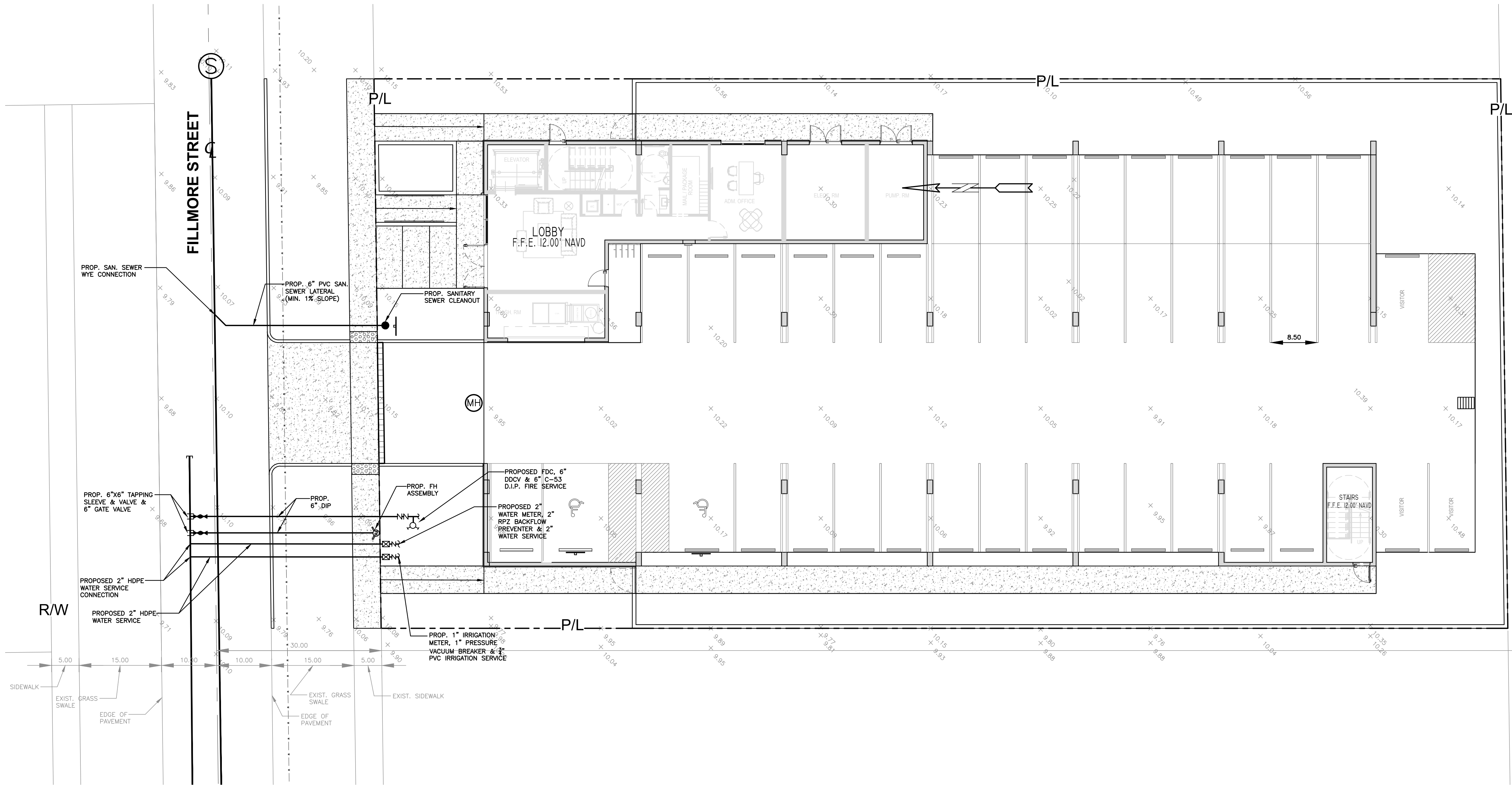
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2215 FILLMORE STREET
HOLLYWOOD, FL 33020

PROJECT NO.: 23-15

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

NOTE:
UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED
BY A CONTRACTOR HOLDING A CLASS I, II, OR V
LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.

WATER & SEWER DEMAND CALCULATIONS:

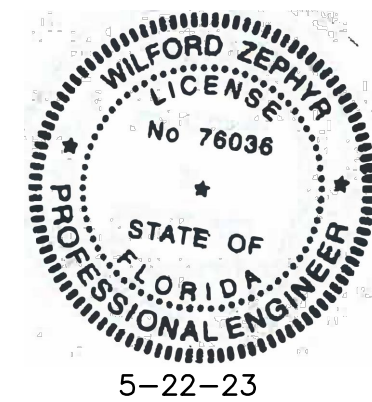
PROJECT INFO:

- 27 RESIDENTIAL UNITS

WATER DEMAND
(27 RESIDENTIAL UNITS)X(141 GPD/UNIT)=3,807 GPD

WASTEWATER DEMAND
(27 RESIDENTIAL UNITS)X(100 GPD/UNIT)=2,700 GPD

(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING
DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE
POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT
RESIDENTIAL UNIT FACTORS PUBLICATIONS)



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ON ANY ELECTRONIC COPIES.

WATER & SEWER CONNECTION PLAN

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

ZEPHYR ENGINEERING

ZE

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA# 31158

P.E.#:76036

DATE: 5/9/23

SCALE: 1"=10'

SHEET NO.:

C8

8 OF 10

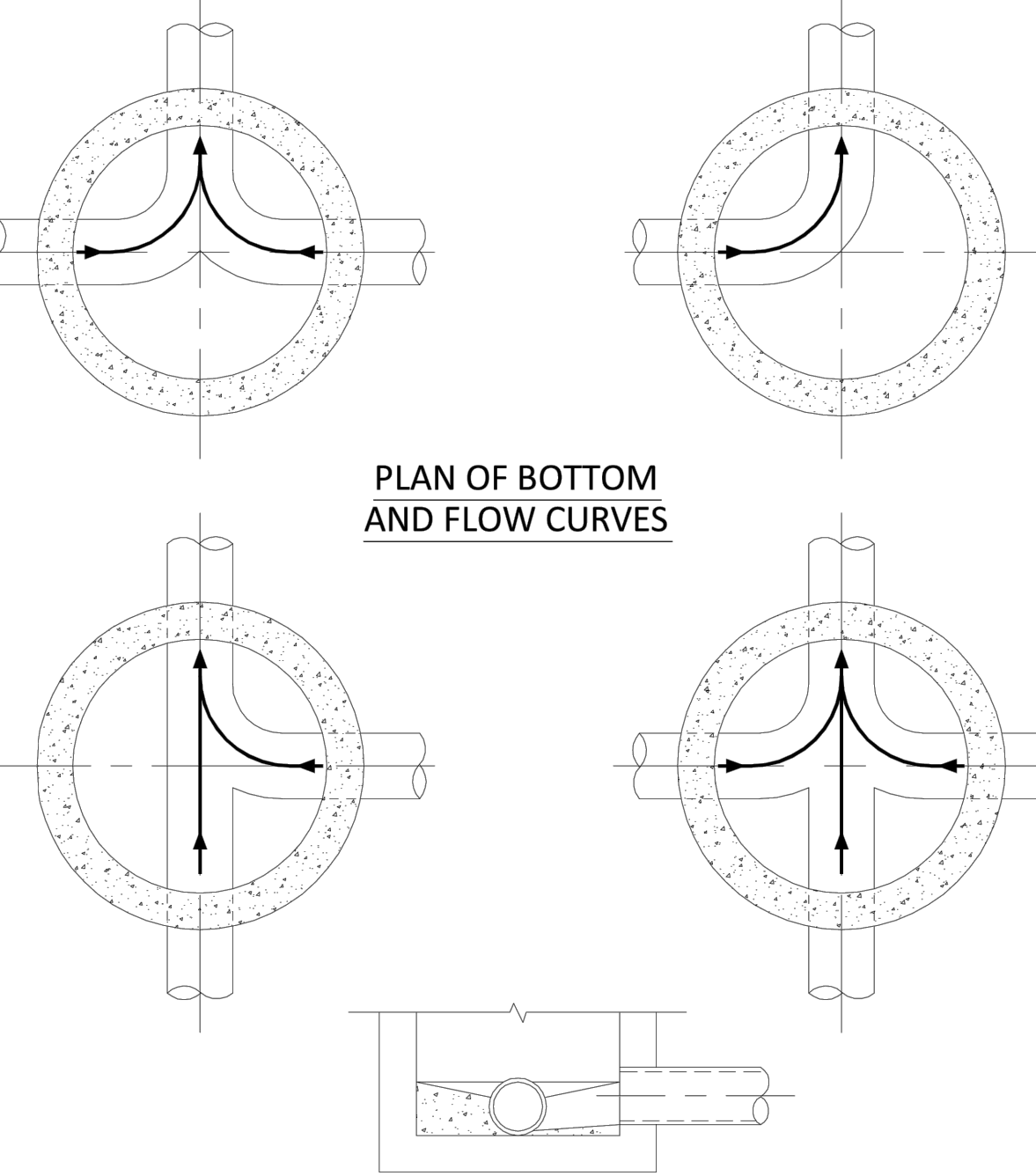
PROJECT NO.: 23-15

SEWER NOTES:

1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:
$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

WHERE:
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
D = PIPE DIAMETER IN INCHES
S = LENGTH OF LINES IN LINEAL FEET
P = AVERAGE TEST PRESSURE IN PSI
7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	SANITARY SEWER MAIN CONSTRUCTION NOTES	DRAWING NO.
	APPROVED: XXX		S-01




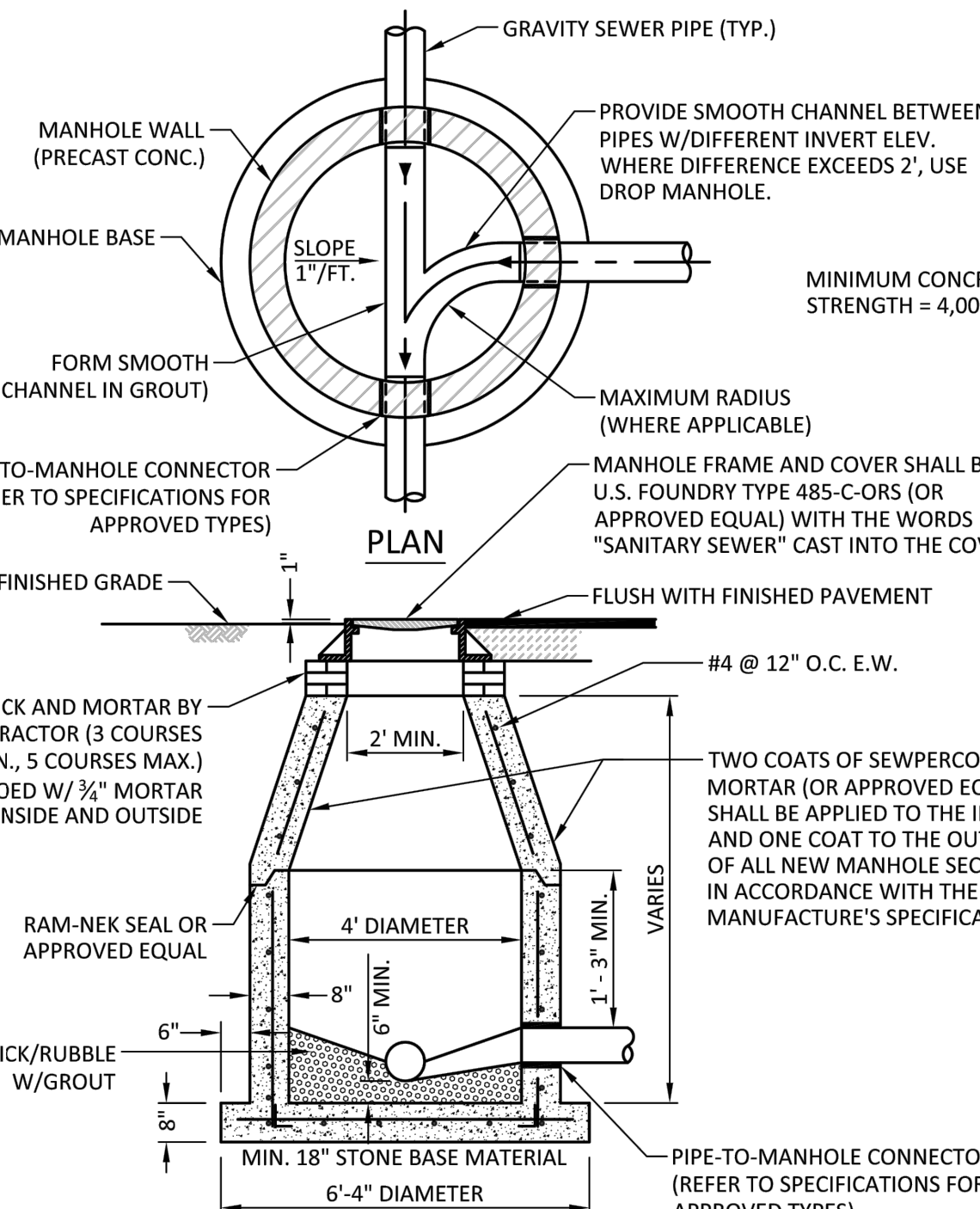
PLAN OF BOTTOM AND FLOW CURVES

TYPICAL SECTION

NOTES:

1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	MANHOLE FLOW PATTERNS	DRAWING NO.
	APPROVED: XXX		S-02




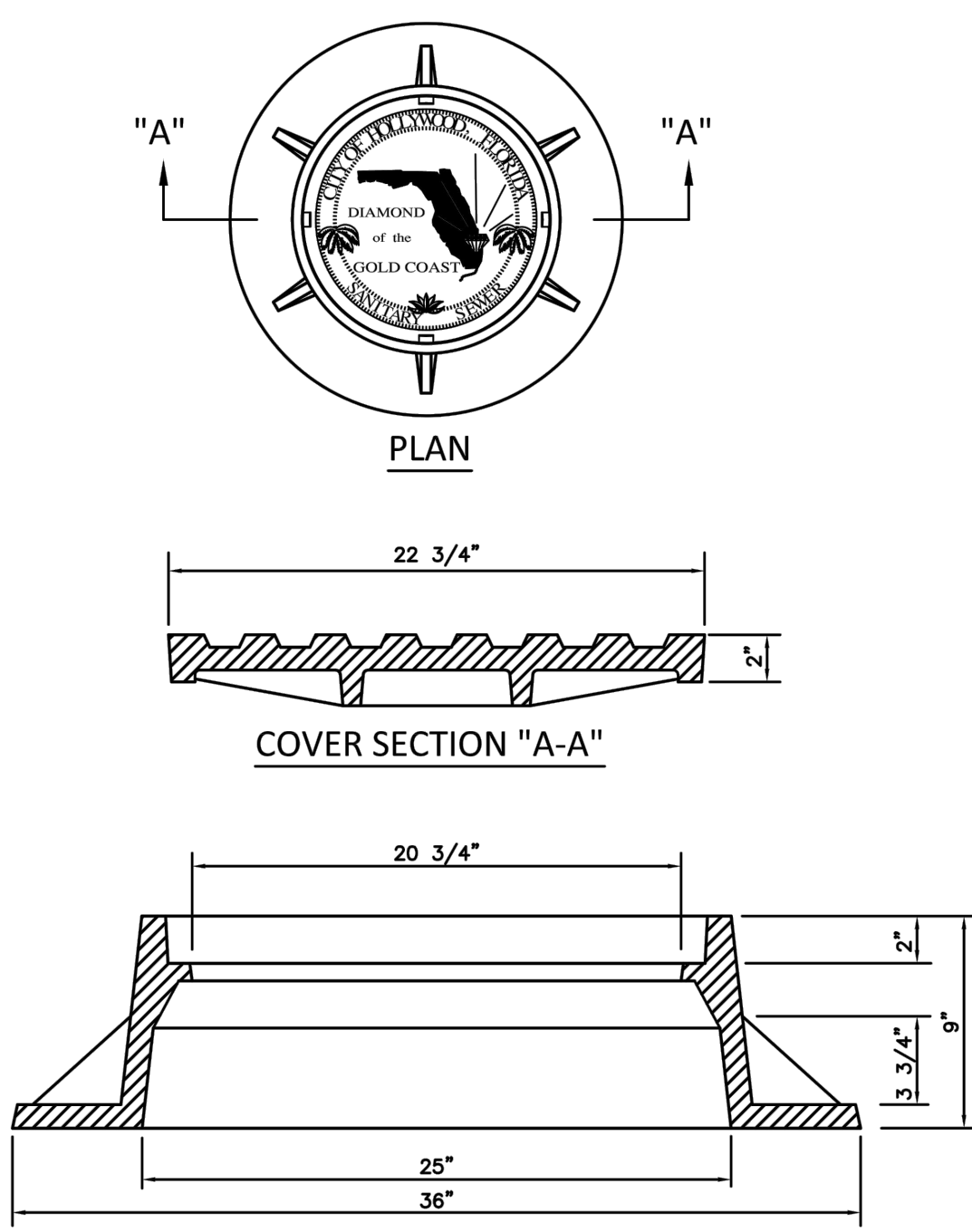
PLAN

SECTION

NOTES:

1. SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
3. NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/18/2018
	DRAWN: EAM	STANDARD PRECAST MANHOLE	DRAWING NO.
	APPROVED: XXX		S-03




PLAN

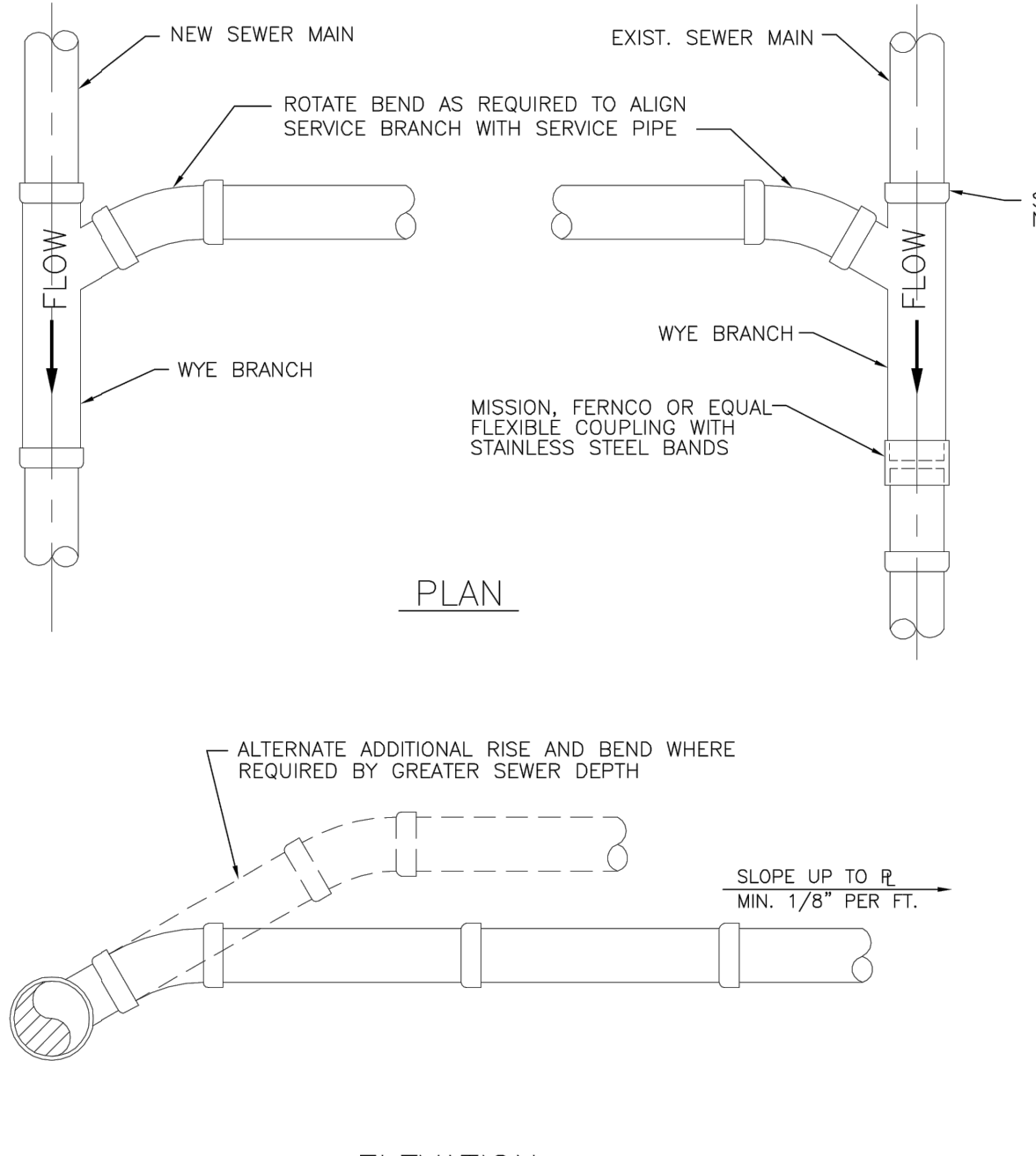
COVER SECTION "A-A"

FRAME SECTION "A-A"

NOTES:

1. LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
2. ALL BEARING SURFACES TO BE MACHINED.
3. MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
4. MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS TYPE EL, WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	MANHOLE FRAME AND COVER CITY OF HOLLYWOOD	DRAWING NO.
	APPROVED: XXX		S-06.1

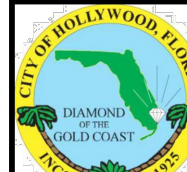


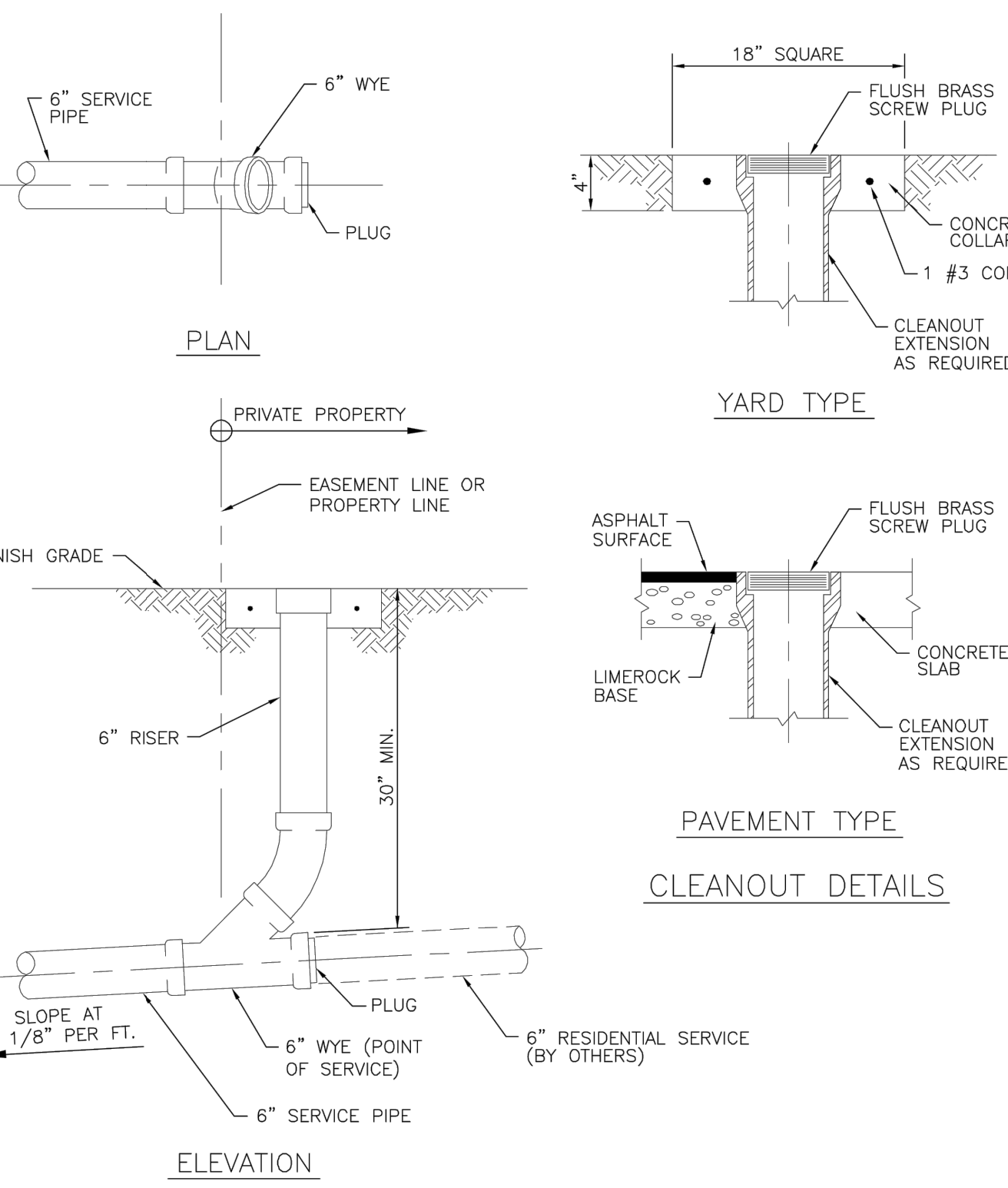
PLAN

ELEVATION

NOTES:

1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO.
	APPROVED: XXX		S-09




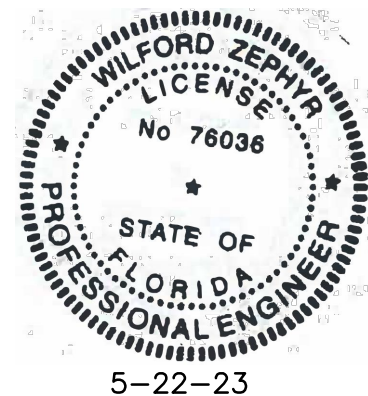
PLAN

ELEVATION

CLEANOUT DETAILS

SINGLE SERVICE CONNECTION

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO.
	APPROVED: XXX		S-12



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UTILITIES DETAILS II

SCALE: N.T.S.

REVISIONS	
NO.	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA #: 31158

ZE

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 5/9/23

SCALE: N.T.S.

SHEET NO.:

C10

10 OF 10

PROJECT NO.: 23-15

GENERAL LANDSCAPE NOTES

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All linerrock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details

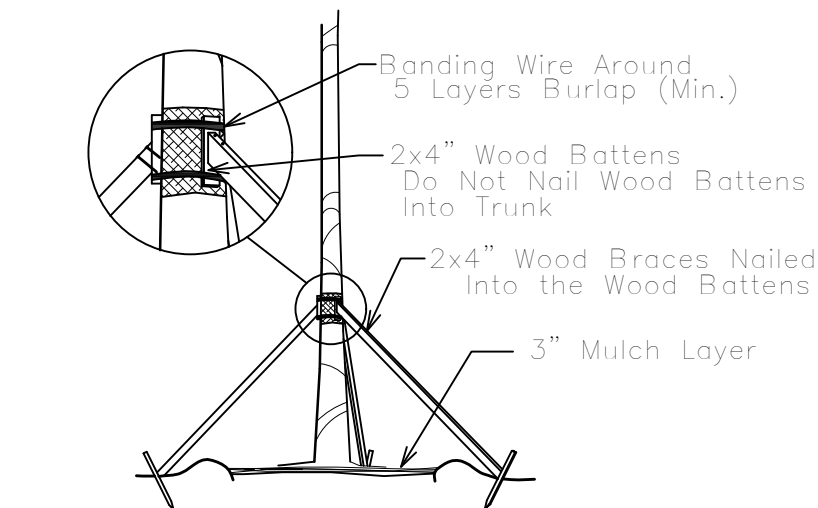
All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3' away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4' diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

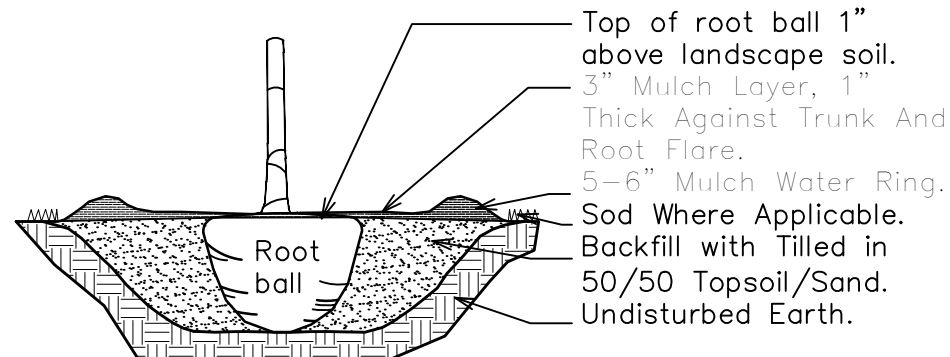
Please refer to the planting details for a graphic representation of the above notes.

All plant material shall be warranted by the landscape contractor for One Year after Final Inspection. Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood. No landscape substitutions shall be made without the City of Hollywood approval.



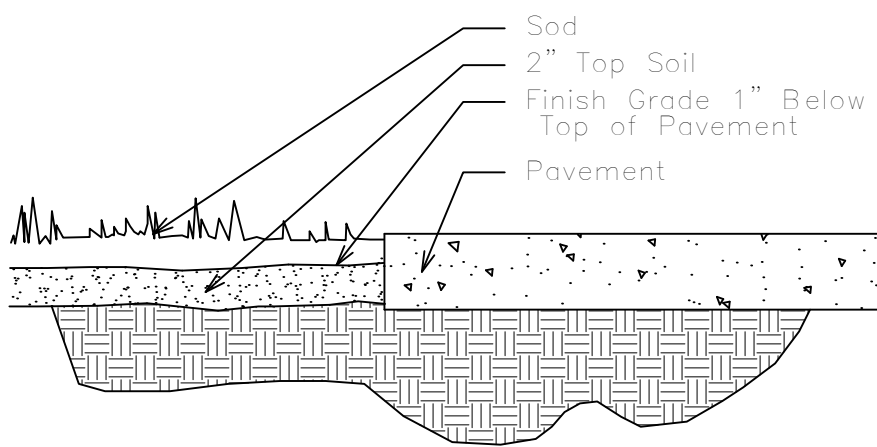
TREE/PALM BRACING DETAIL

NTS



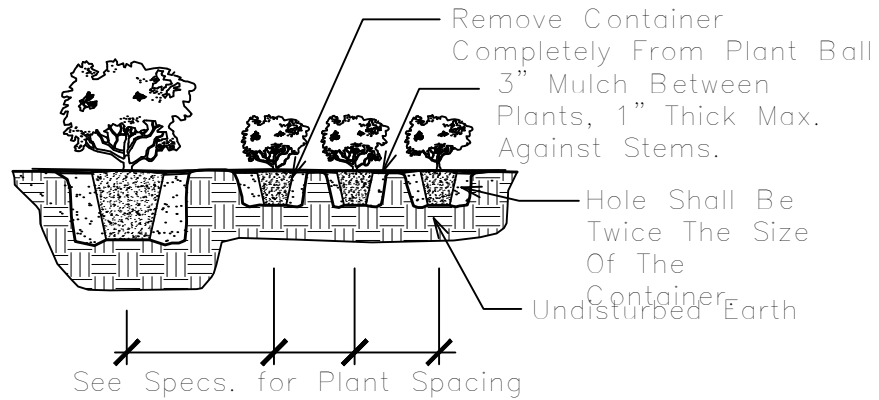
TREE/PALM PLANTING DETAIL

NTS



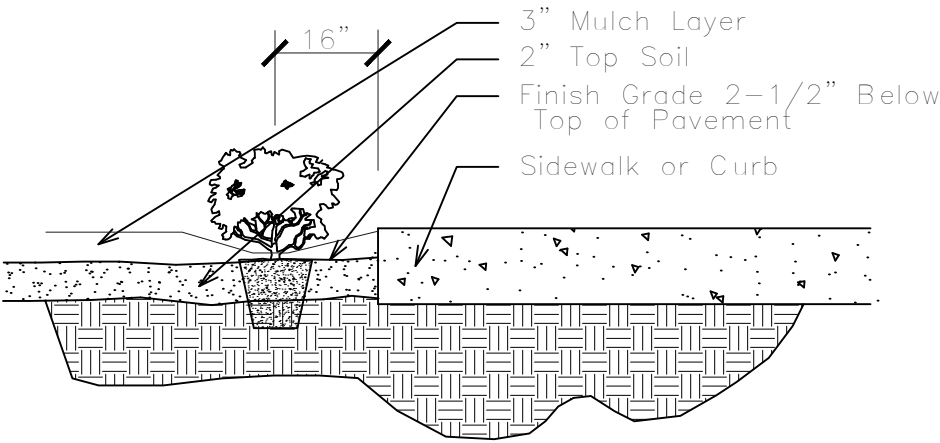
SOD INSTALLATION DETAIL

NTS



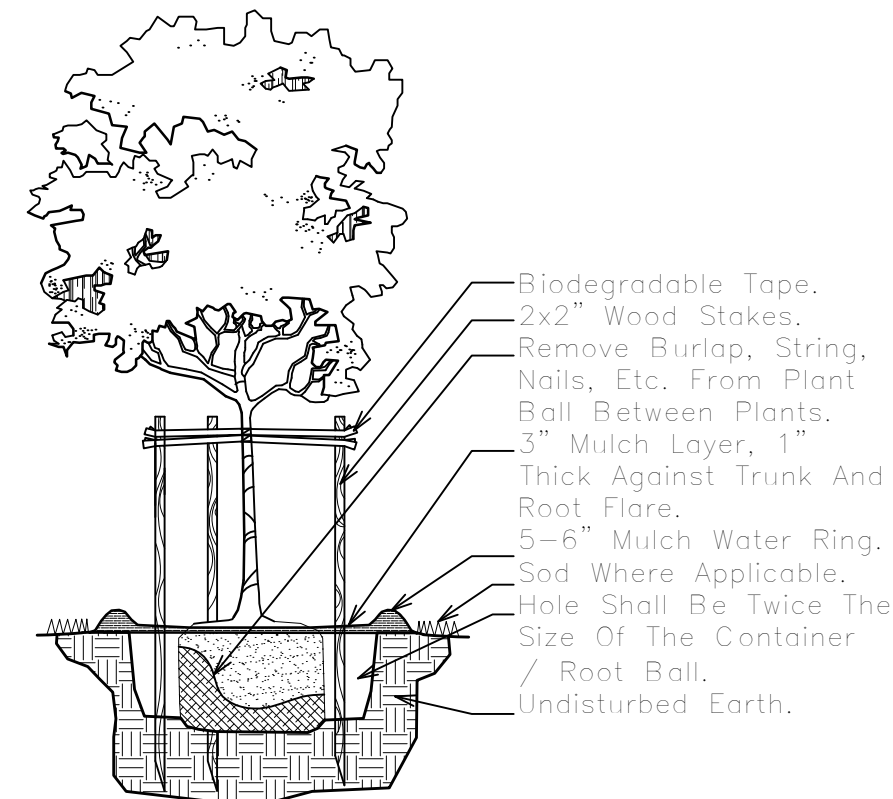
SHRUB PLANTING DETAIL

NTS



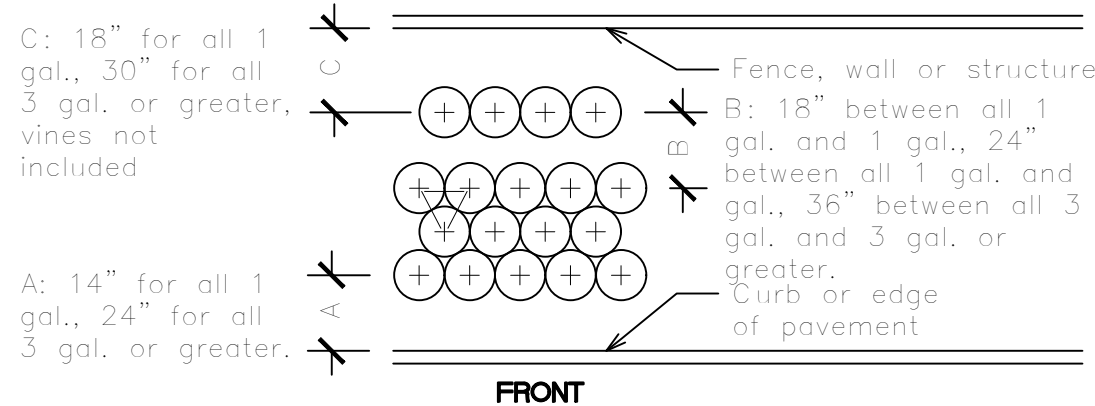
SHRUB INSTALLATION DETAIL

NTS



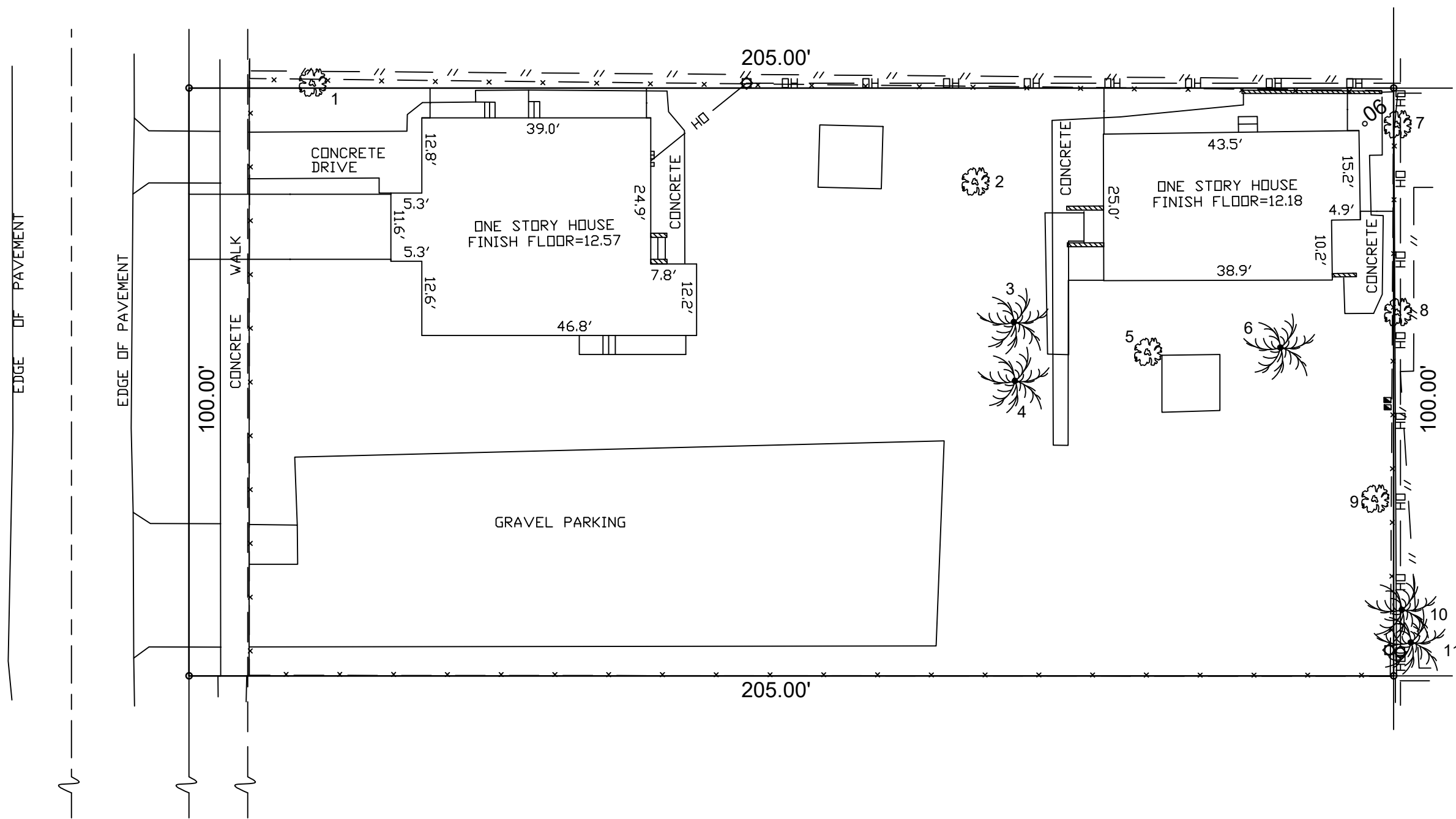
SMALL TREE PLANTING DETAIL

NTS



TYPICAL SHRUB SPACING DETAIL

NTS



2215 Fillmore Street Existing Tree List

Case/Location: 2215 Fillmore Street, Hollywood, FL

Date: 5/20/2023

Appraiser: Thomas White, ASLA-ISA, Arborist FL-5248A

Tree #	Species Botanical Name / Common Name	Ht. (Feet)	Spr. (Feet)	DBH (Inches)	Condition	DBH Removed (Inches)	Disposition
1	Ficus microcarpa / Indian Laurel	20	30	24	Fair-Poor	24	Remove
2	Bischofia javanica / Bishopwood	25	25	18	Poor	0	Remove
5	Persea americana / Avocado	20	8	17	Near Dead	17	Remove
7 **	Bursera simarubra / Gumbo Limbo	20	10	16	Very-Very Poor	16	Remove
8 **	Quercus virginiana / Live Oak	16	8	8	Very-Very Poor	8	Remove
					DBH Removed	65	
**	Hat racked from utility line clearance trimming						

Existing Palm List

Article 9.9.B.3.c. per City of Hollywood. Palm species that are highly susceptible to lethal yellowing (per UF-IFAS) = Cocos nucifera / Coconut Palm							
Palm #	Species Botanical Name / Common Name	Ht. (Feet)	CT (Feet)	DBH (Inches)	Condition	Replacement Palms	Disposition
3	Hyophorbe lagenicaulis / Bottle Palm	5	1	10	Fair	0	Remove
4	Hyophorbe lagenicaulis / Bottle Palm	5	1	10	Fair	0	Remove
6	Cocos nucifera / Coconut Palm	15	6	10	Good-Fair	0	Remove
9	Sabal palmetto / Cabbage Palm	15	10	10	Poor	1	Remove
10	Sabal palmetto / Cabbage Palm	8	1	10	Fair	0	Remove
11	Sabal palmetto / Cabbage Palm	12	6	10	Fair	0	Remove
						1	

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST,
tcawhite@bellsouth.net
954-253-2265

REVISIONS

Tree Survey / Landscape Notes & Details
Fillmore Street Apartments
2215 Fillmore Street
Hollywood, Florida 33020



DRAWN:
TW
CHECKED:
TW
DATE:
5-19-2023
SCALE: 1"=20'

Sheet No.
L-1
Sheet 1 Of 3

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!



CENTURY PRODUCTS
1144 N. GROVE ST.
ANAHEIM, CA 92806
TOLL FREE: 1-800-480-808
PHONE: (714) 632-7083
FAX: (714) 632-5470
www.centuryrootbarrier.com

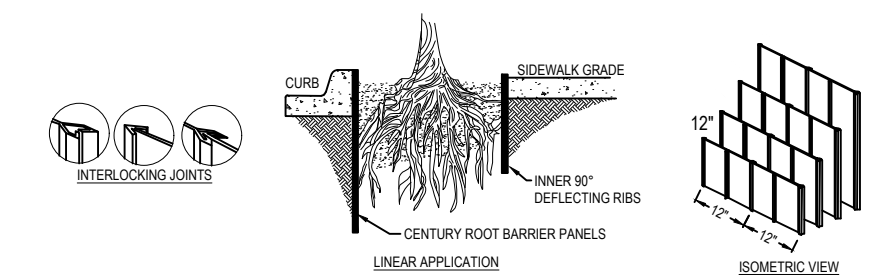
SPECIFICATIONS:
CPU-SERIES: CPU12-2, CPU 24-2, CPU 36-2, CPU 48-2, CPU 60-2
 A. THE ROOT BARRIER SHALL BE CPU-UTILITY SERIES PANELS MANUFACTURED BY CENTURY PRODUCTS, 1144 N. GORE STREET, ANAHEIM, CA 92806 (714) 632-7083 OR APPROVED EQUIVALENT.
 B. THE EXTERIOR MODULAR PANELS MUST BE MANUFACTURED USING RECYCLED POLYETHYLENE PLASTIC WITH ULTRAVIOLET INHIBITORS. EACH PANEL HAS FLEXIBLE, EXTRUDED, 90° VERTICAL ROOT OVERTURNING PROFILES (1/2" IN HEIGHT) WITH A MINIMUM THICKNESS OF 0.08" AND ARE PLACED 1/2" (5 CM) APART.
 INTERLOCKING, PANEL TO PANEL JOINTING SYSTEM DESIGNED TO FOLD HORIZONTALLY FOR TIGHTER FIT PROVIDES FOR AN INSTANT ASSEMBLY BY SLIDING ONE PANEL INTO ANOTHER.
THICKNESS: 0.08"

MATERIAL	POLYETHYLENE	
THICKNESS	0.080"	
PROPERTIES:	ASTM TEST METHOD	VALUE POLYETHYLENE COPOLYMER
TENSILE STRESS @ YIELD	D638	4100 TO 4300 PSI
ELONGATION AT BREAK	D638	40%
TENSILE MODULUS OF ELASTICITY	D638	150,000 PSI
RESIDUAL STIFFNESS		
CANTILEVER BEAM	D747	120,000
TENSILE IMPACT	D7022	PSI/50FT LBS/IN
ENVIRONMENTAL STRESS	-	
CRACK RESISTANCE	D1693	1 HR
HARDNESS, SHORE D	D2240	58

FEATURE

- FLEXIBLE TOP SAFETY EDGE
- VERSATILE BARRIER FOR LINEAR OR TREE WELL APPLICATIONS
- MANUFACTURED WITH RECYCLED PLASTIC
- RAISED 90° EXTRUDED ROOT DEFLECTING RIBS, SPACED APART
- 90° 1/2" - 3/4" RAISED RIB, SIDE INTERLOCKING PANEL TO PANEL JOINING SYSTEM
- ADJUSTABLE ANTI-LIFT POLYETHYLENE PANELS WHICH CAN BE SEPARATED INTO 1' (30CM) SECTIONS

LINEAR APPLICATION: FOR ROOT PRUNING OF EXISTING TREES OR IN PLANTING SITUATION WHERE ONE OR MORE TREES ARE IN CLOSE PROXIMITY TO HARDSCAPES.



NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
3. DO NOT SCALE DRAWINGS.
4. THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES AND ARE FOR INFORMATION PURPOSES ONLY. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PROJECT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. DIMENSIONS MAY VARY IN ORDER TO MAINTAIN THE INTEGRITY OF POST-CONSUMER MATERIALS AND ASSURE THE PROPER STRUCTURE. WE MAKE NO OTHER WARRANTIES, EXPRESS OR IMPLIED, AND SPECIFICALLY DISCLAIM THE WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

NTS

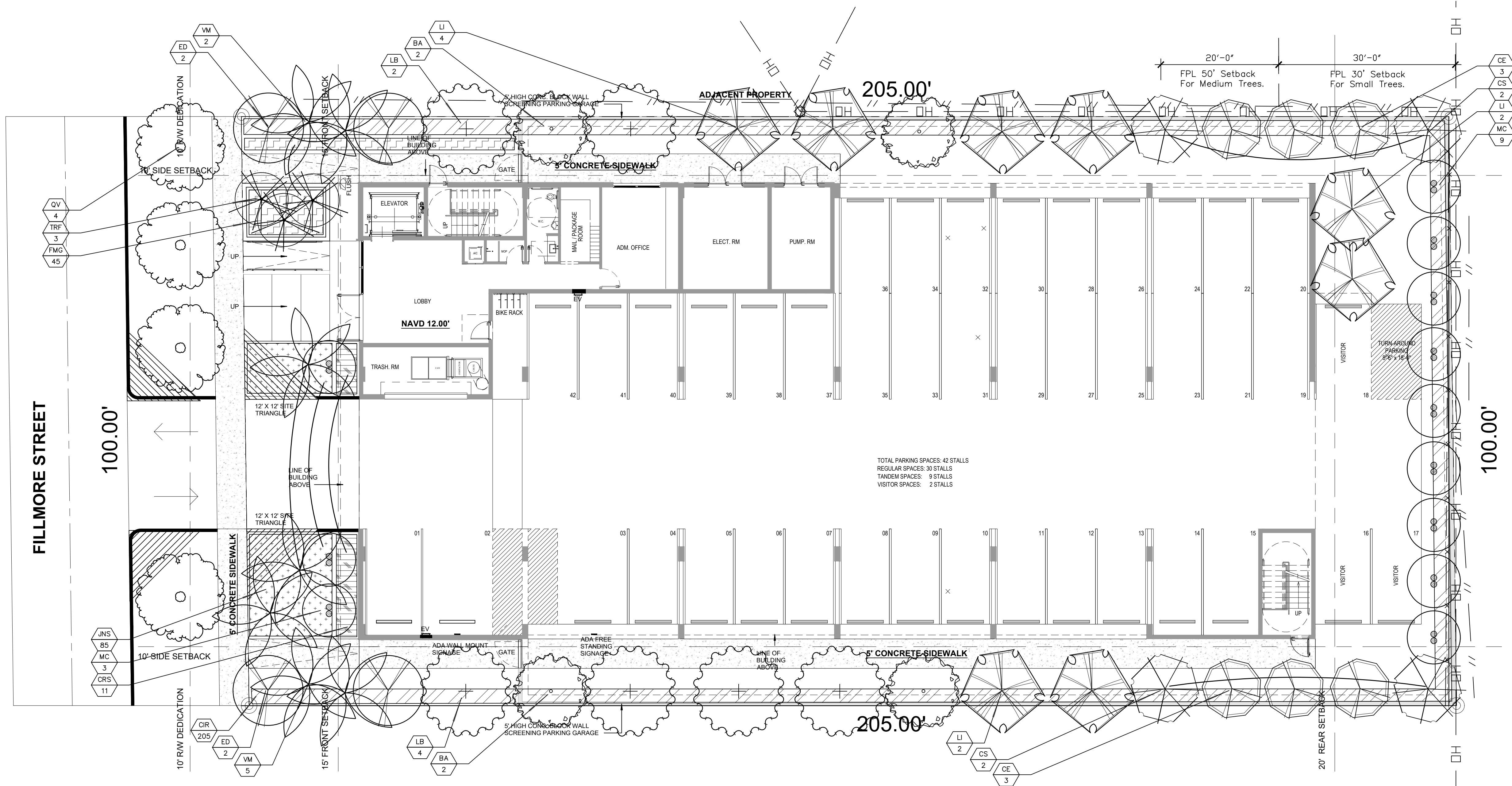
4.6 RAC

4.d.(3)1	Street Trees: One Per 30 LF of Street Frontage 100 LF Feet of Fillmore Street	Required 4		Provided 4	
4.d.(3)2	5' Landscape Buffer Required and Provided. One Tree per 20 LF 510 LF Perimeter of East, North and West Boundaries	26		26	
4.d.(3)5	5' Landscape Buffer Required and Provided. 42" Landscape Element 510 LF Perimeter of East, North and West Boundaries	42" Hedge		42" Hedge	CIR 42" See Plant List
4.d.(3)9	One Tree per every 1,000 square feet of Pervious Area 5,164 Square Feet of Pervious (Net Lot) Area.	6		6	
4.d.(3)12	20% Landscape Open Space	4,100	20%	5,164	25%
	Total Trees	36		36	

SITE PLAN INFORMATION-GROUND FLOOR

Property Use:	RAC Single Family Residential		
Property Zoning:	DH-2		

Gross Site Area:	20,502 Sq. Feet	=	0.47	Acres
Building Footprint Area:	12,585 Sq. Feet	=	61.4%	
Driveway/Walks:	1,775 Sq. Feet	=	8.7%	
VUA Exterior:	978 Sq. Feet	=	4.8%	
Total Impervious Areas:	15,338 Sq. Feet	=	74.8%	
Landscape Area:	5,164 Sq. Feet	=	25.2%	
Total Pervious Areas:	5,164 Sq. Feet			



Code	Drought QTY.			Botanical Name / Common Name	Specifications		
PROPOSED TREES / PALMS							
CE	(N)	V	6	Conocarpus erectus sericeus / Silver Buttonwood	12"x4-5, 2" DBH, Sng. Trunk		
CS	(N)	V	4	Cordia sebestena / Orange Geiger	12"x4-5, 2" DBH, Sng. Trunk		
ED		V	4	Elaeocarpus decipiens / Japanese Blueberry	12"x4-5, 2" DBH, Sng. Trunk		
LB	(N)	V	6	Lysioloma bahamensis / Wild Tamarind	12"x4-5, 2" DBH, Sng. Trunk		
LI		V	6	Lagerstroemia indica 'Natchez' / Crape Myrtle, Watermelon Red	12"x4-5, 3" DBH, Sng. Trunk		
MC	(N)	V	4	Myrica cerifera / Wax Myrtle	12"x4-5, 3" DBH, Sng. Trunk		
QV	(N)	V	4	Quercus virginiana / Live Oak	12"x4-5, 2" DBH, Sng. Trunk		
VM		V	6	Veitchia montgomeryana / Montgomery Palm	8 CT Min.		
			36	Total Trees/Palms (VM Counted 3:1)			
			24	Native Trees			
			67%	Native Trees			
MITIGATION TREE/PALM LIST							
Code	Drought QTY.			Botanical Name / Common Name	Specifications	DBH (Inches)	Total (Inches)
BA		V	4	Bulnesia arborea / Verawood	12" Ht., 4" DBH, Sng. Trunk	4	16
LI		V	2	Lagerstroemia indica 'Natchez' / Crape Myrtle, Watermelon Red	12" Ht., 3" DBH, Sng. Trunk	3	6
MC	(N)	V	8	Myrica cerifera / Wax Myrtle	12"x4-5, 3" DBH, Sng. Trunk	3	24
VM		V	1	Veitchia montgomeryana / Montgomery Palm	8 CT Min.		
				Total DBH Added			46
				Total DBH Removed			65
				DBH Deficiency			19
				Payment Into the Tree Trust Fund @ \$350 per ea. 2" =			\$3,325
				Total Palms Added			1
				Total Palms Removed			1
				Palms Deficiency			0
HEDGES / SHRUBS							
CIR	(N)	V	205	Chrysobalanus icaco 'Red Tip' / Cocoplum	7 Gal., 42-48"x 24-30", 30" OC		
CRS		V	11	Clusia rosea / Small Leaf Clusia	7 Gal., 48"x24", 36" OC		
TRF	(N)	V	3	Thrinax radiata / Florida Thatch Palm	6-7" OA Ht., Dbl. Trunks		
			219	Total Shrubs			
			219	Native Shrubs			
			100%	Native Shrubs			
GROUND COVERS / SOD							
FMG		V	45	Ficus microcarpa / Green Island Ficus	3 Gal., 18" Spr., 16-20" OC		
JNS		V	86	Jasminum nitidum / Shining Jasmine	3 Gal., 18"x 18", 24" OC		
Sod	M	By GC	S.F.	Stenotaphrum secundatum / St. Augustine 'Palmetto'	Solid application - no gaps between seams		

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REVISIONS

4-25-2023: Per City
Comments

Landscape Permit Plan

Fillmore Street Apartments

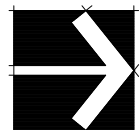
2215 Fillmore Street

Landscape Permit Plan
Street Ap
2215 Fillmore Street
Hollywood, Florida 33020



DRAWN:
TW
CHECKED:
TW
DATE:
5-19-2023
SCALE: 1"=10'

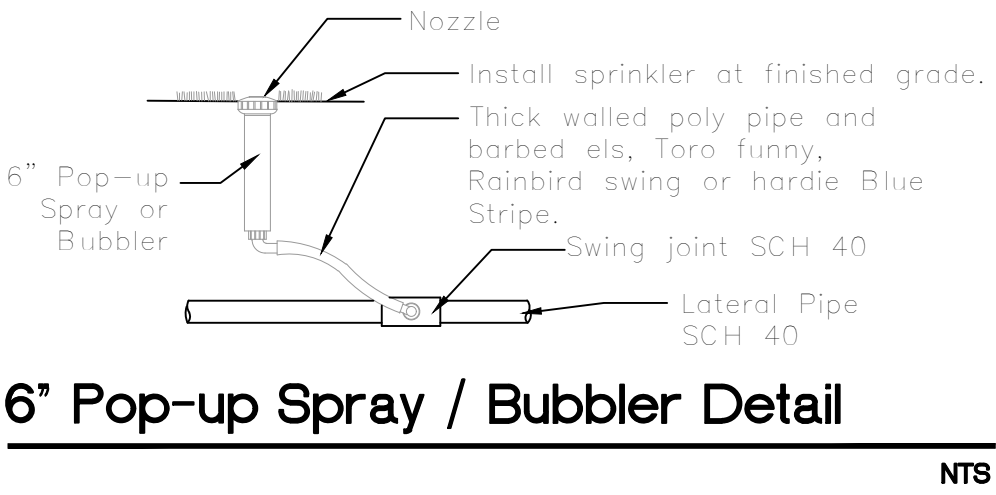
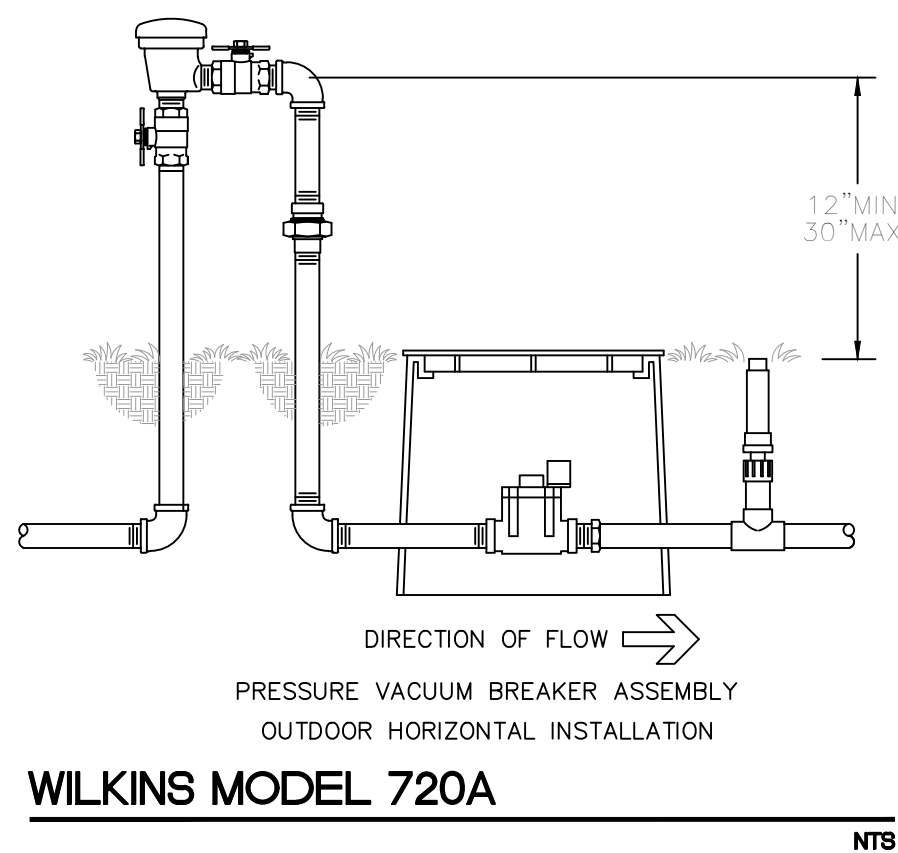
Sheet No.
L-2
Sheet 2 Of 3



Sunshine811

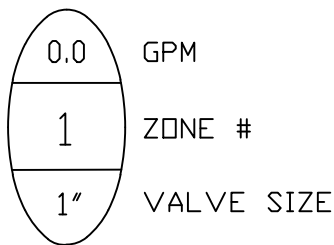
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!



IRRIGATION LEGEND:

- 1" MAIN LINE
- LATERAL ZONE LINES.
- CONTROLLER - Intermatic Electric 8 station controller wall mounted outside.
- Mini Klik automatic rain sensor shutoff switch mounted outside on eave of structure.
- ZONE VALVES - Fimco 4 Station Indexing.
- 1" WATER METER & BACKFLOW (See Civil Plans).
- SLEEVES - Sch. 40, 2 Sizes Larger; NDTE - Pipe Size Shown is the Lateral Size, NDT the Sleeve Size
- 6" PDP-UP SPRAY - Hunter Pro-Spray Series: Fixed or Adjustable Arc Nozzles as Required. NOTE - All of the below may not be used
- 13-21' Series 8-15' Series 6-12' Series
- 90 Q
- 120 T
- 180 H
- 240 TT
- 270 TQ
- 360 F
- SS-530 5 x 30'



IRRIGATION NOTES:

Piping:
Main Lines: PVC SCH 40 Solvent Weld.
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used.
All pipe is 3/4 inch.
Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1-1/2 in. and smaller = 10 in. depth, min.

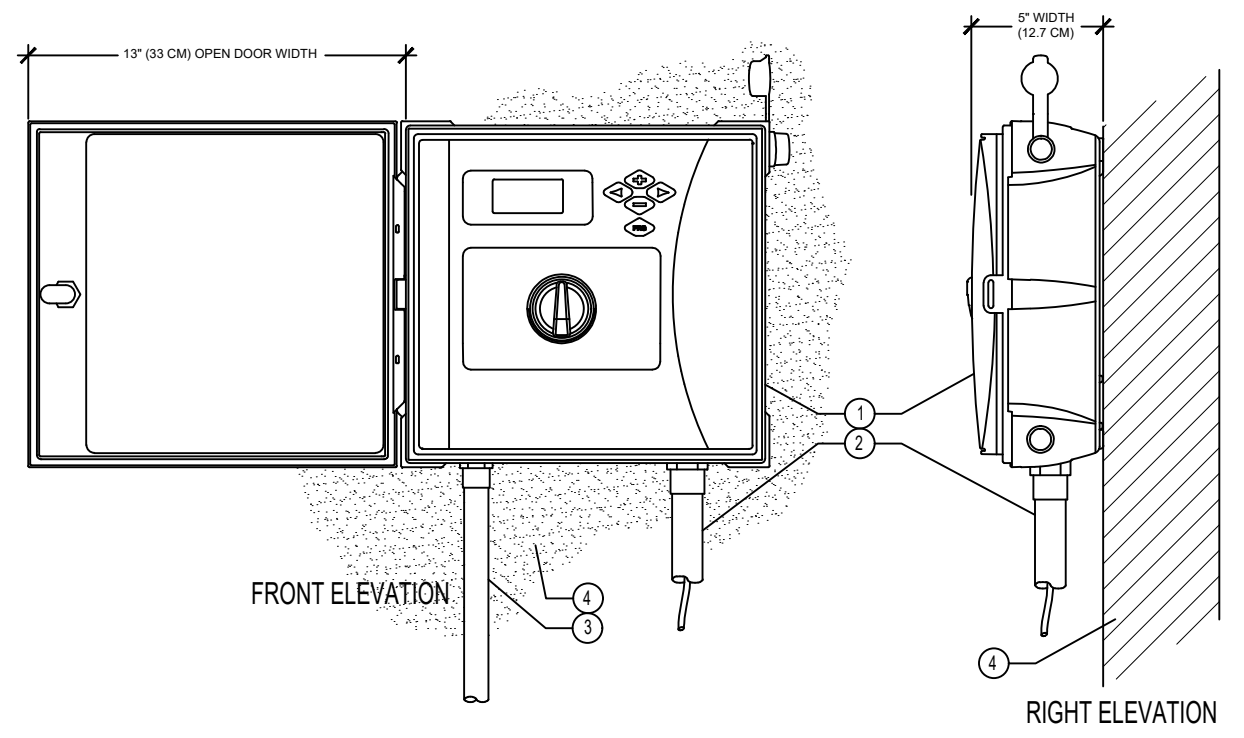
Control Wires: AWG 14 for all hot wires and AWG 12 for common. Solid copper type UF UL listed for direct burial. Run wires under main. Run spares, two min. Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors. Common shall be white, hot shall be red or color coded. Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit.

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans. It is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

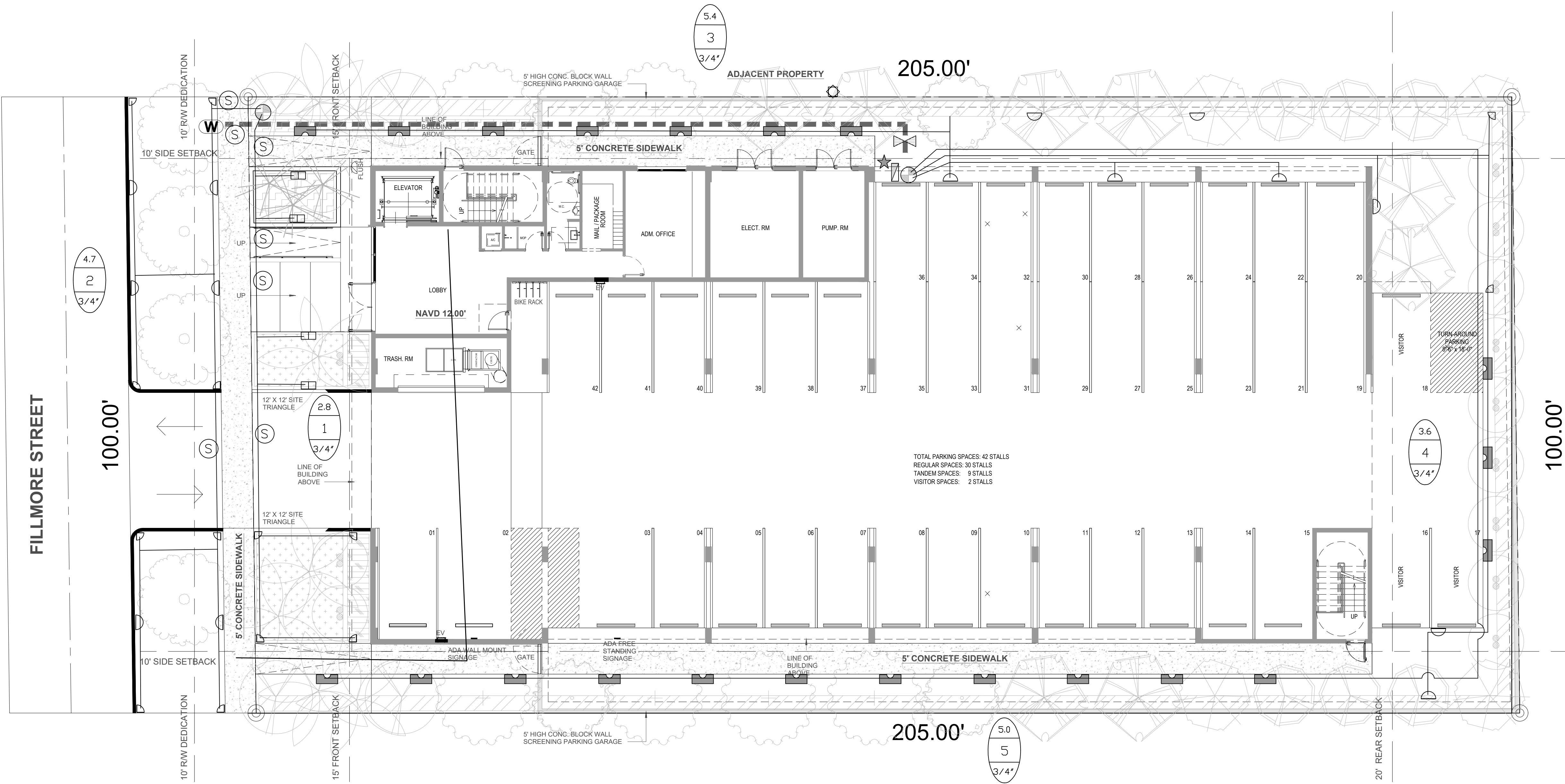
Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



IRRIGATION CONTROLLER and RAIN KLIK SENSOR

- LEGEND:
- 1 IRRIGATION CONTROLLER
 - 2 IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - 3 ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - 4 ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
 - 5 WIRELESS RAIN SENSOR
- NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDING 110 VAC POWER SOURCE



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REVISIONS

Fillmore Street Apartments
2215 Fillmore Street
Hollywood, Florida 33020

Irriation Permit Plan



DRAWN: TW
CHECKED: TW
DATE: 5-19-2023
SCALE: 1"=10'

Sheet No.
L-3
Sheet 3 Of 3

Sunshine811
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